

ADDENDUM NO. 2

DATE: October 19, 2020

For
DRAWINGS, SPECIFICATIONS, PROPOSAL, CONTRACT AND BOND

For
DYPISKI PARK IMPROVEMENTS
CONTRACT NO. RP 17802R

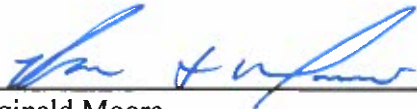
FOR THE MAYOR AND CITY COUNCIL OF BALTIMORE

TO BIDDERS: THIS ADDENDUM IS HEREBY MADE A PART OF THE CONTRACT DOCUMENTS ON WHICH THE CONTRACT WILL BE BASED, AND IS ISSUED TO MODIFY, EXPLAIN AND/OR CORRECT THE ORIGINAL DRAWINGS AND SPECIFICATIONS. PLEASE ATTACH THIS ADDENDUM TO YOUR CONTRACT DOCUMENTS AND ACKNOWLEDGE IT ON THE BID OR PROPOSAL PAGE WHERE INDICATED.

APPROVED:



Adam Boarman, RLA
CHIEF OF CAPITAL DEVELOPMENT
DEPARTMENT OF RECREATION AND PARKS



Reginald Moore
DIRECTOR OF RECREATION AND PARKS

Dypski Park Improvements

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Acknowledgement: Acknowledge receipt of this addendum by inserting its number and date on your bid form. This addendum form is a part of the Contract Documents and modifies them as follows:

1. CHANGES TO THE SPECIFICATIONS:

Item No.	SECTION No.	DESCRIPTION OF CHANGES
.1	01 20 00	DELETE page 44; REPLACE page 44r.
1.2	33 11 16	DELETE page 413 to 414; REPLACE pages 413r to 414r.

2. CHANGES TO DRAWINGS:

Item No.	SHEET No.	DESCRIPTION OF CHANGES
2.1	C1.1r (Vol # 1 dwgs.)	DELETE sheet C1.1 and REPLACE sheet C1.1r Proposed Utility Plan
2.2	C3.1r (Vol # 1 dwgs.)	DELETE sheet C3.1 and REPLACE sheet C3.1r Civil Details 1
2.3	C3.2r (Vol # 1 dwgs.)	DELETE sheet C3.2 and REPLACE sheet C3.2r Civil Details 2
2.4	L1.1r (Vol #2 dwgs.)	DELETE sheet L1.1 and REPLACE sheet L1.1r Pavilion Erection Roof Details
2.5	A1.0r (Vol #2 dwgs.)	DELETE sheet A1.0 and REPLACE sheet A1.0r Pavilion Erection Plans
2.6	A1.1r (Vol #2 dwgs.)	DELETE sheet A1.1 and REPLACE sheet A1.1r Pavilion Erection Plans
2.7	A1.2r (Vol #2 dwgs.)	DELETE sheet A1.2 and REPLACE sheet A1.2r Pavilion Erection Elevations
2.8	A3.1r (Vol #2 dwgs.)	DELETE sheet A3.1 and REPLACE sheet A3.1r Pavilion Erection Roof Details
2.9	A4.1r (Vol #2 dwgs.)	DELETE sheet A4.1 and REPLACE sheet A4.1r Comfort Station Improvements

3. Responses to Request for Information / Clarification:

QUESTION 1: Is there any information that can be given on how the existing structure to be relocated is going to be disassembled/reassembled?

ANSWER: Please refer to specifications Section 02 41 00- Selective Building Demolition, "Demolition Plan and Photographs-Pavilion" on sheet L1.1, and Demolition Plan on sheet L1.0.

QUESTION 2: Are there any existing as-builts/details of how the existing structure to be relocated was put together when it was initially built, so we can try to come up with options on how it can be disassembled and reassembled?

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ANSWER: There are no archived construction plans for the open-air pavilion (existing structure).

QUESTION 3: Is it known what company constructed the original existing structure to be relocated?

ANSWER: There are no archived construction records to identify the construction company who constructed the original existing structure (open-air pavilion).

QUESTION 4: Is there any information available about how old this structure is and how many times it has been moved and/or restored/improved?

ANSWER: Based on Baltimore City's Commission for Historical and Architectural Preservation (CHAP), the existing open-air pavilion / structure is estimated to be built in 1873 based on Baltimore City's 1911 annual report and Baltimore Sun articles that included Joseph Newman paid and erected the market pavilion. When the Canton Market was closed in 1944, the majority of the pavilion was torn down, but this portion of the pavilion was saved and used as a recreational facility on O'Donnell St. until 1978, when it was moved to Dypski Park. The pavilion was relocated once, see attached "Baltimore Sun" article dated August 1978.

QUESTION 5: How much does the existing structure to be relocated weigh (approximately)?

ANSWER: Not known.

QUESTION 6: How long the trusses are on the existing structure to be relocated?

ANSWER: Approximately 60 ft.; contractor shall field verify this measurement.

QUESTION 7: Because of the existing structure to be relocated being a historical structure and it being located where roads are tight - are there any restrictions or guidelines on how we disassemble, move, and reassemble the existing structure to be relocated?

ANSWER: State of Maryland (and if required City of Baltimore) licensed demolition contractor, transport company and reassemble contractor shall be selected with minimum years of experience and satisfy local, state and federal codes to dismantle, move and reassemble this existing structure. For further information, refer to the project's specification Section 02 41 00- Selective Building Demolition, "Demolition Plan and Photographs-Pavilion" on sheet L1.1, and Demolition Plan on sheet L1.0.

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QUESTION 8: Are we able to use the existing parking lot or part of the lot adjacent to the Dypski Park site for a staging area for equipment/materials and for use for the existing structure to be disassembled and relocated?

ANSWER: Construction access and staging area within the adjacent parking lot is limited to where the limit of work (LOW) is shown on the demolition plan on sheet L1.0 and grading plan on sheet L2.0.

QUESTION 9: What is the model number of the drinking fountain? Last time it was a HAWS 3380 FR EBONY PED. FOUNTAIN WITH HAWS 6518 FR IN GROUND PNEUMATC FR VALVE SYSTEM FOR 3380. Is it the same, or has it changed?

ANSWER: See specification Section 33 11 16 Water Distribution, part 2.1 Materials, C.

QUESTION 10: Are approved equal alternates for the drinking fountain allowed? Haws has limited distributorship. Murdock was specified for the ground hydrant. And Murdock makes drinking fountains?

ANSWER: Approved equals will be considered by the Engineer; however, Murdock's fountains are not accepted by our department's Park Maintenance.

QUESTION 11: Will Miss Utility locate both locations or will we need to hire a private utility locator?

ANSWER: As per the project general notes item 4 on the coversheet on sheet CS.1 and Section 01 76 04 Utilities located in Baltimore City's Standard Green Book (Department of Public Works Specifications for Materials, Highways, Bridges, Utilities and Incidental Structures, 2006", the contractor is responsible to locate and repair any existing utilities damaged during construction. The method and ways to locate the existing utilities shall be determined and paid by the contractor.

QUESTION 12: Are there any restriction on work hours?

ANSWER: Working hours are Monday through Friday for 8 hour work days. For further information, please refer to Section 01 14 00 Work Restrictions in Baltimore City's Standard Green Book (Department of Public Works Specifications for Materials, Highways, Bridges, Utilities and Incidental Structures, 2006".

QUESTION 13: Column details show cap only; but, the building elevation illustrates a base. Please provide details of base?

ANSWER: Base condition of columns is shown in detail A on sheet S-001.

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QUESTION 14 Reviewing the pavilion column details on the manufacturer website, is the contract drawing complete? Please provide welding details to join base casting to column or base plate?

ANSWER: **Base condition of columns is shown in detail A on sheet S-001.**

QUESTION 15: What is the fall height for existing play equipment? and proposed swings?

ANSWER: **6-foot height for existing play equipment and 8-foot height for proposed swings?**

QUESTION 16: Clarify the symbol / item “E. Clerestory framing- see detail photo” in how it is associated with any clerestory openings’ improvements?

ANSWER: **As with all portions of the existing structure, GC is to document the existing and then provide shop drawings describing the intent for re-erection. Applied to the Clerestory, (part of the Existing Historic Structure) it is the exact same process. As per demolition drawings the metal panel covering added in the 1980’s is to be demolished. Just like every other part of the existing historic structure, in the shop drawing submittal include framing and details of the Clerestory.**

QUESTION 17: Clarify the need for razing permit for the open air pavilion. There are construction companies with the expertise and qualifications necessary to disassemble this structure.

ANSWER: **A demolition/ razing permit will be needed for all the open air pavilion. This permit will be attained by the contractor, for further information see <https://dhcd.baltimorecity.gov/sites/default/files/dhcd/attachments/Demolition%20Application%20Packet.pdf>**

QUESTION 18: The lump sum breakdown suggested in the specifications does not mention painting where should the cost be associated?

ANSWER: **See page 60r, “Painting” has been added to schedule of values.**

QUESTION 19: Note on S-301 states “All steel to be hot-dip galvanized and painted....” Does this note apply only to the steel on page S-301, or is the City’s intent to have all steel on the existing pavilion structure – including the salvaged cast iron column bearing struts, straps, boots, rods, and fasteners that make up the truss system removed from their current locations and treated in this manner? If this note only applies to the steel on sheet S-301, is it referring only to the column cap modifications, or does it apply to the entirety of the new cast iron columns?

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ANSWER: The elements to be galvanized are the new steel plates only. After welding the plates are to be painted to match the column & existing components.

QUESTION 20: The Note 18 on sheet S-001 states that all structural steel will be inspected on site by an independent 3rd party testing agency. Is the intent of this note to include the existing structural cast iron elements that hold the pavilion framing together? If so, must all cast iron fasteners and straps be fully removed for 3rd party inspection?

ANSWER: The scope of inspection is to ensure connections & installation of components indicated in the structural drawings. The contractor is solely responsible for the disassembly and re-assembly of the existing pavilion structure beyond what is shown in the structural drawings. A 3rd Party Agency inspection is not required for the existing structural cast iron elements that hold the pavilion framing together. However, BCRP reserves the right to procure such an inspection at BCRP's cost

QUESTION 21: The October 22, 2019 report by ECS confirms the presence of lead in the paint coatings of the pavilion structure. Please confirm that there is no intent to strip or remove the existing paint coatings from the pavilion framing elements, and that the project intent is to encapsulate the lead-containing coatings in the new paint layers.?

ANSWER: Contractor to comply with all local, state and federal codes when dealing with lead based materials (includes paint). For only those work zone areas on the existing pavilion disturbed by work activities, the existing lead based materials (includes paint) shall be stripped and/or removed prior to proceeding with work; for example, work zone area may be the surface area required to cut a timber beam or the metal hardware connection to be loosened and/or removed. For those existing surfaces to not be disturbed by work activities, these existing lead painted surfaces can remain and be encapsulated with paint; for example, the remaining timber beam length not to be cut. Loose flaking lead paint shall be scraped and removed prior to repainting.

- 45. Electrical (excludes pavilion) _____
- 46. Seed and Mulch _____
- 47. Transport Pavilion to Gwynns Fall Leakin Park _____
- 48. Pavilion Relocation Roofing _____
- 49. Pavilion Relocation Carpentry _____
- 50. Pavilion Relocation Columns _____
- 51. Pavilion Relocation Cast-in-place concrete _____
- 52. Pavilion Relocation Electrical _____
- 53. ADA Restroom Electrical _____
- 54. ADA Restroom Interior Improvements _____
- 55. Painting _____

In addition to the Schedule of Values required by Paragraph 2.01 of this Section, the Contractor shall submit a further breakdown of Item 3, 4, and 33 of the Schedule of Values.

Item 6 and 34 shall be subdivided into the costs for incremental installation of sediment control devices as required by the Sequence of Construction indicated on the Drawings. Payment under this breakdown will be limited to an initial payment of 50 percent of the value for devices installed for each increment of sediment control required for that Sequence of Construction at the first monthly estimate after satisfactory installation. The remaining 50 percent payment of the incremental sediment control devices will be made monthly for the duration those devices are required and properly maintained to the satisfaction of the Engineer.

2.3 Bid Item 201 – Earth Excavation and Gravel Refill Below Subgrade

- A. Measurement and Payment of this Item will be based on the calculated volume in cubic yards from field measurements between the subgrade shown on the Drawings and the measured depth and horizontal measurements of the directed excavation
- B. Payment for this item will be made at the unit price bid per cubic yard and will include all labor, material, and equipment necessary to satisfactorily excavate and backfill with furnished materials where directed by the Engineer. Gravel shall meet the requirements of CR-6 and methods of placing and compacting shall conform to the other applicable requirements of the Specifications.
- C. The lump sum price for this item shall include full compensation for all work shown on the Drawings as outlined in the Specifications with the exception of Bid Item 101.
- D. Bid item on Bid Forms will be reviewed, and accepted or rejected, at Owner’s option. Accepted bid items will be identified in the Owner-Contractor Agreement.
- E. Coordinate related work and modify surrounding work the integrate the Work of each bid item/alternate.
- F. Partial payment for this item will be made on the basis of percentage complete of the construction categories listed in the SCHEDULE OF VALUES.

33 11 16
WATER DISTRIBUTION

PART 1 – GENERAL

1.01 SECTION INCLUDES

- A. The work consists of furnishing and installation of all water pipes, drinking fountain, pipe fittings, water valves, and appurtenances at the locations as shown on the Contract Drawings and as directed by the Engineer. Included in this work is all excavation and backfill for trenches.
- B. All pipe shall be laid on a firm bed and properly backfilled.

1.02 RELATED SECTIONS

- A. Section 33 11 13- **City of Baltimore Department of Public works Specifications Materials, highways, Bridges, Utilities, and Incidental Structures, 2006; or latest edition (Standard Specifications).**

1.03 SUBMITTALS

- A. Submit shop drawings, catalog cuts and installation details for all items to the Engineer for approval.

PART 2 – PRODUCTS

2.01 MATERIALS

- A. Ductile Iron Pipe and Fittings: Refer to the Standard Specifications
- B. Copper Piping: Seamless Copper Water tube shall comply with ASTM B88, Type K, Soft with wrought copper solder joint fittings, 150 lb., ASA B16.3 and threaded pipe.
- C. Drinking Fountain: Haws Model No. 3380FR barrier free pedestal fountain with freeze-resistant valve or approved equal, and all appurtenant materials for a complete operating system as manufactured by Haws Company (1-775-359-4712). Type 304 Stainless Steel satin finish bracket and 11 gauge Type 304 Stainless Steel satin finish basin with integral swirl design, polished chrome-plated brass vandal-resistant bubbler head, polished chrome-plated brass push-button, chrome-plated brass vandal-resistant waste strainer, vandal-resistant bottom plate, 3/16" (.47 cm) galvanized steel top-access pedestal with green powder-coated finish, integral mounting plate, and 1-1/4" IPS waste..

Finish: Ebony (Black) powder coat.

WATER DISTRIBUTION

33 11 16-1

-413r-

Quantity: One (1).

D. Valves and Appurtenances

1. Refer to Section 33 12 16 of the Standard Specifications.
2. All manufacturers' makes and models of valves, vaults, frames and covers must be on a list previously approved by Baltimore City Bureau of Water and Wastewater.
 - i. Haws Water Valve, Model 6518FR is a fully engineered pneumatic operated freeze-resistant valve system installed below frost line.

E. Flush Box Hydrant: Murdock-Super Secur Model No. M-575, 3/4" Freeze resistant, flush-mounted box hydrant with lock lid, as manufactured by Murdock Company (800-591-9880 or 626-333-2543).

F. Concree: Mix No. 3, conforming to Section 03 30 00.

2.02 PRECAST STRUCTURES

- A. Valve Vaults as manufactured by Horne Concrete Construction, or Mayer Bros, Inc.
- B. Ring and Covers shall be bolted type.**

PART 3 – EXECUTION

3.01 CODES

- A. Prior to starting plumbing work, Contractor to verify adequate water pressure at the water meter prior for combined existing and proposed water demand for the building and/or park property use.
- B. All plumbing work shall comply with the N.S.P.C. Plumbing Codes and the regulations of the Health Department of Baltimore City and the State of Maryland. Obtain all approvals before starting plumbing work.

3.02 WATER FIXTURES

- A. Install equipment in accordance with manufacturer's instructions and Contract Drawings.

END OF SECTION 33 11 16

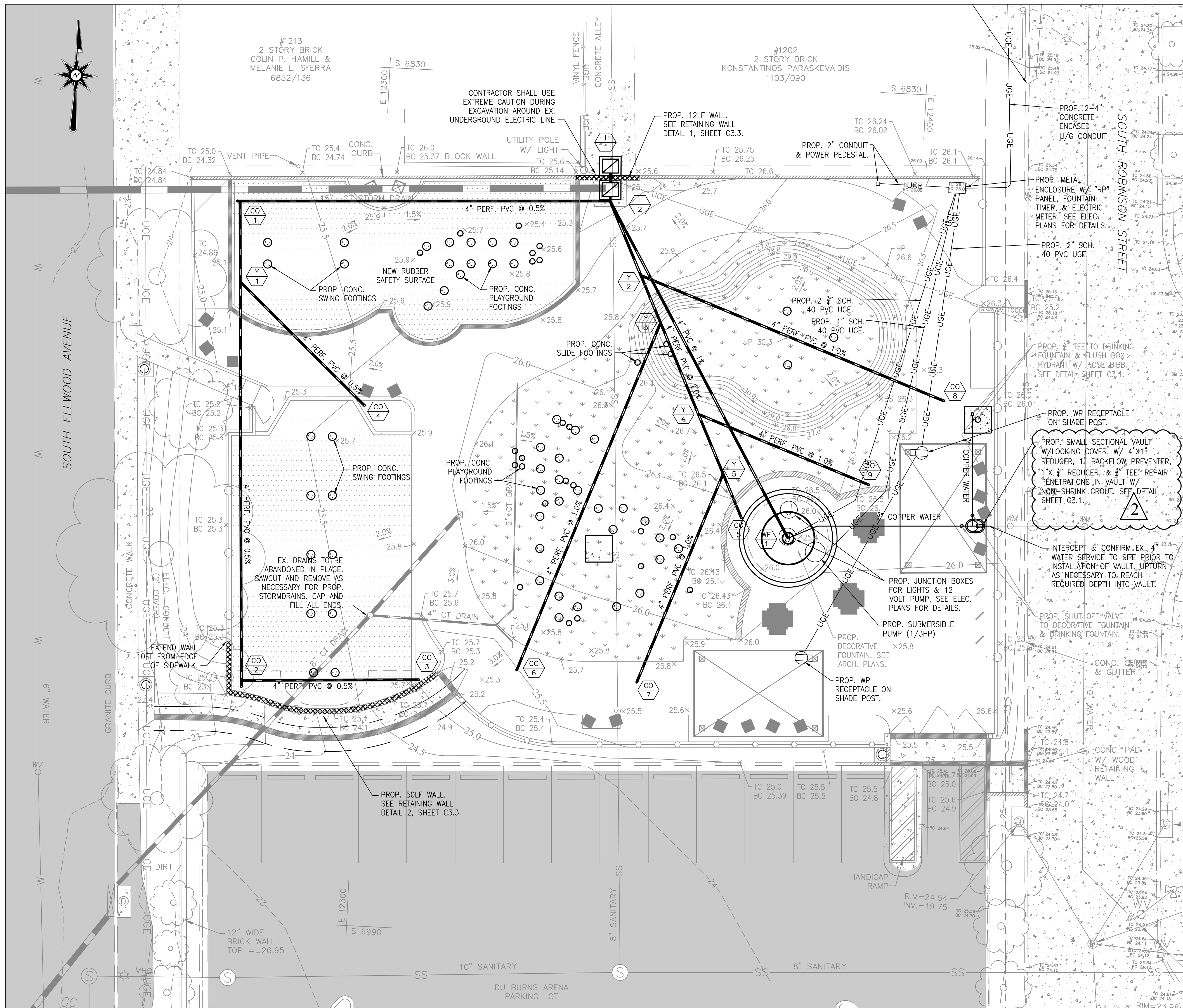
WATER DISTRIBUTION

33 11 16-2

-414r-

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PROPOSED UTILITY PLAN

SCALE: 1"=10'

LEGEND

- FIRE HYDRANT
- LIGHT POLE
- GAS VALVE
- GAS CAP
- WATER VALVE
- WATER METER
- SEWER CLEANOUT
- ELECTRIC HANDBOX
- MECHANICAL HANDBOX
- GAS HANDBOX
- STORM DRAIN MANHOLE
- SEWER MANHOLE
- ELECTRIC MANHOLE
- WATER MANHOLE
- TELEPHONE MANHOLE
- DEPARTMENT OF PUBLIC WORKS
- DEPARTMENT OF TRANSPORTATION
- UTILITY STRUCTURE NUMBER
- PROPERTY CORNER
- DRAIN INLET
- CONC. CURB
- SIGN
- UTILITY POLE
- OVERHEAD TRAFFIC WIRES
- UNDERGROUND GAS MAINS
- UNDERGROUND WATER MAINS
- UNDERGROUND SEWER LINES
- UNDERGROUND STORM DRAINS
- UNDERGROUND TELEPHONE
- UNDERGROUND ELECTRIC
- FENCE
- TREE
- PINE TREE
- CONC. CONCRETE
- H/C HANDICAP
- T/P TREE PIT

PIPE SCHEDULE

FROM	TO	SIZE	TYPE	LENGTH
I-1	I-2	6"	SCH. 40 PVC	4.42'
I-2	TEE	4"	SCH. 40 PERF. PVC	2.10'
TEE	CO-1	4"	SCH. 40 PERF. PVC	68.92'
CO-1	Y-1	4"	SCH. 40 PERF. PVC	15.57'
Y-1	CO-2	4"	SCH. 40 PERF. PVC	73.69'
CO-2	CO-3	4"	SCH. 40 PERF. PVC	33.04'
Y-1	CO-4	4"	SCH. 40 PERF. PVC	32.60'
TEE	Y-2	4"	SCH. 40 PERF. PVC	14.99'
Y-2	Y-3	4"	SCH. 40 PERF. PVC	9.56'
Y-3	Y-4	4"	SCH. 40 PERF. PVC	18.44'
Y-4	Y-5	4"	SCH. 40 PERF. PVC	12.00'
Y-5	CO-5	4"	SCH. 40 PERF. PVC	8.87'
Y-3	CO-6	4"	SCH. 40 PERF. PVC	70.00'
Y-5	CO-7	4"	SCH. 40 PERF. PVC	42.00'
Y-2	CO-8	4"	SCH. 40 PERF. PVC	61.05'
Y-4	CO-9	4"	SCH. 40 PERF. PVC	34.28'
I-2	WF-1	4"	SCH. 40 PVC	70.62'

STRUCTURE SCHEDULE

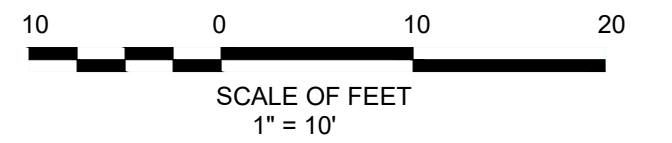
NO.	TYPE	INV. ELEV.	TOP ELEV.	STANDARD DETAIL; GRATE TYPE
I-1	YARD INLET	OUT=22.05 (6")	23.55	BC 380.01 TYPE "S" INLET SINGLE GRATE
I-2	YARD INLET	IN=22.64 (4") IN=21.31 (4") IN=22.00 (6") OUT=19.70 (15")	25.00	BC 380.01 TYPE "S" INLET SINGLE GRATE
CO-1	CLEANOUT	IN/OUT=22.99 (4")	25.15	STANDARD CLEANOUT
CO-2	CLEANOUT	IN/OUT=23.43 (4")	25.25	STANDARD CLEANOUT
CO-3	CLEANOUT	IN/OUT=23.60 (4")	25.60	STANDARD CLEANOUT
CO-4	CLEANOUT	IN/OUT=23.23 (4")	25.40	STANDARD CLEANOUT
CO-5	CLEANOUT	IN/OUT=23.92 (4")	26.05	STANDARD CLEANOUT W/ CONCRETE COVER
CO-6	CLEANOUT	IN/OUT=23.84 (4")	25.50	STANDARD CLEANOUT W/ CONCRETE COVER
CO-7	CLEANOUT	IN/OUT=24.16 (4")	25.65	STANDARD CLEANOUT W/ CONCRETE COVER
CO-8	CLEANOUT	IN/OUT=23.56 (4")	26.14	STANDARD CLEANOUT W/ CONCRETE COVER
CO-9	CLEANOUT	IN/OUT=23.85 (4")	26.50	STANDARD CLEANOUT
WF-1	WATER FOUNTAIN	OUT=22.00 (4")	25.40	CUSTOM SMARTPOINT NO. 4 POST ACTIVATOR

GENERAL NOTES:

- EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. NO GUARANTEE IS MADE OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS THEREOF. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE DEPTH, SIZE, MATERIAL, AND LOCATION OF ALL UNDERGROUND UTILITIES TO THEIR OWN SATISFACTION BEFORE BEGINNING ANY EXCAVATION OR UTILITY INSTALLATION. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION.
- LIVE UNDERGROUND UTILITIES MAY EXIST WITHIN THE WORK AREA. CONTRACTOR SHALL USE EXTREME CAUTION AND SHALL COMPLY WITH APPLICABLE BALTIMORE CITY, LOCAL, STATE, AND FEDERAL REGULATIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH, AND CONFORM TO THE CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR MATERIALS, HIGHWAYS, BRIDGES, UTILITIES AND INCIDENTAL STRUCTURES, 2006.

KEY PLAN:

KEYNOTES LISTED ON THIS SHEET ARE FOR CONVENIENCE ONLY. REFER TO SHEET CS.2 FOR COMPLETE LIST



Seal:

Seal:

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I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 14466, EXPIRATION DATE 5/25/2021.

Revisions:

No.	Date	Description
Δ	10/06/20	Addendum No.2

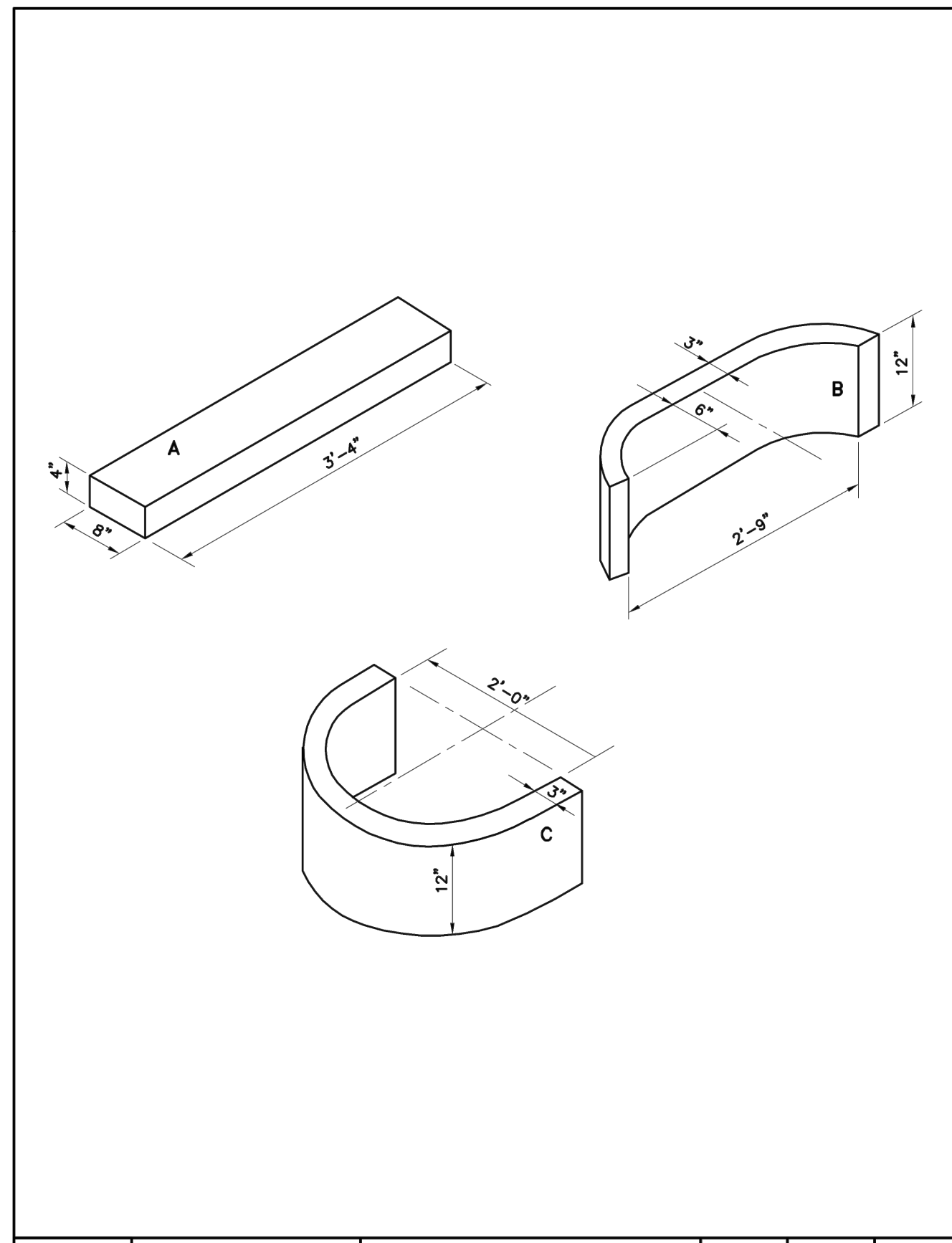
DYPSKI PARK RENOVATION

BALTIMORE CITY DEPT. OF RECREATION & PARKS: RP 178

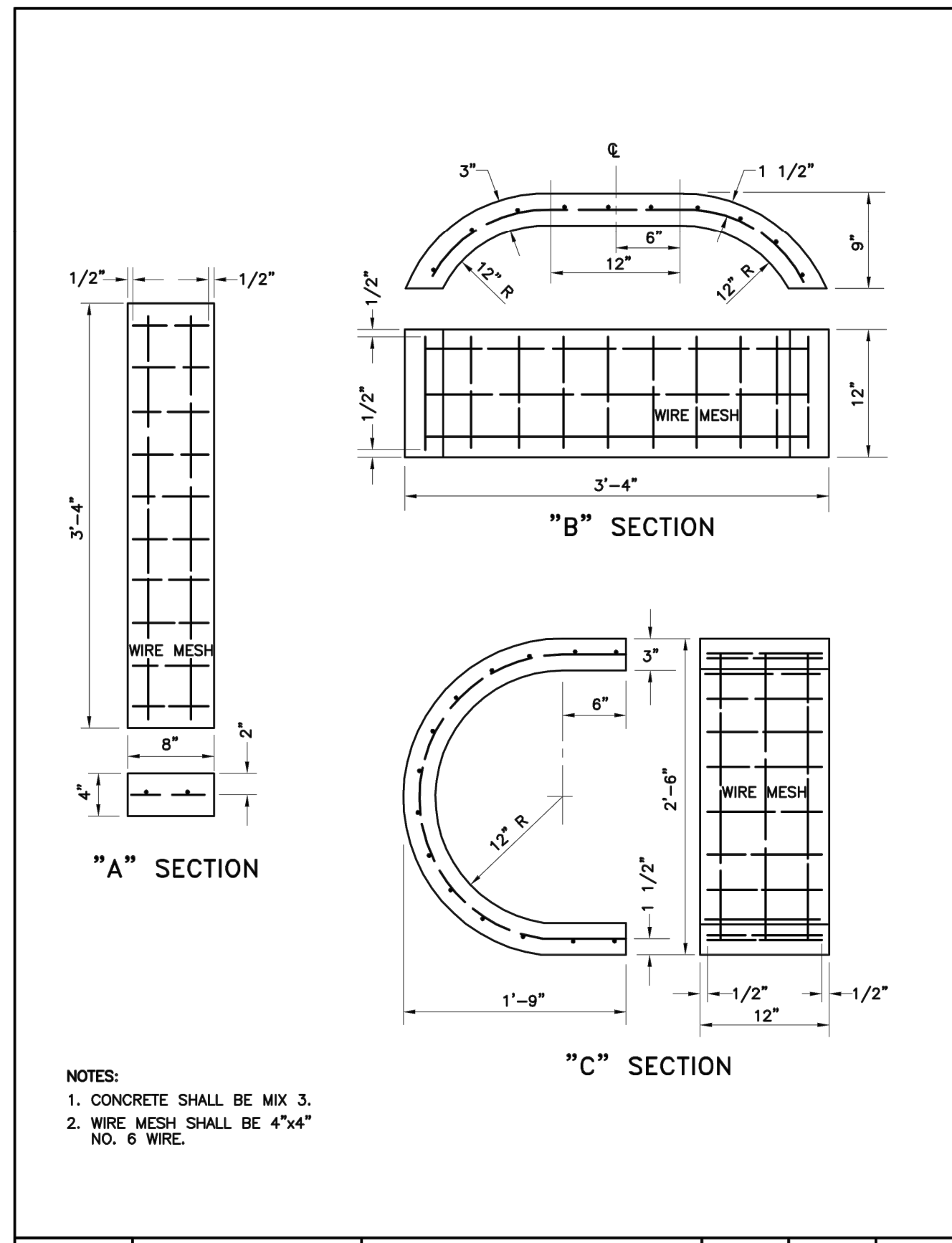
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Date	9/25/2020	JAC	Approved
Drawing Title	PROPOSED UTILITY PLAN		
Sheet	C1.1r		Of

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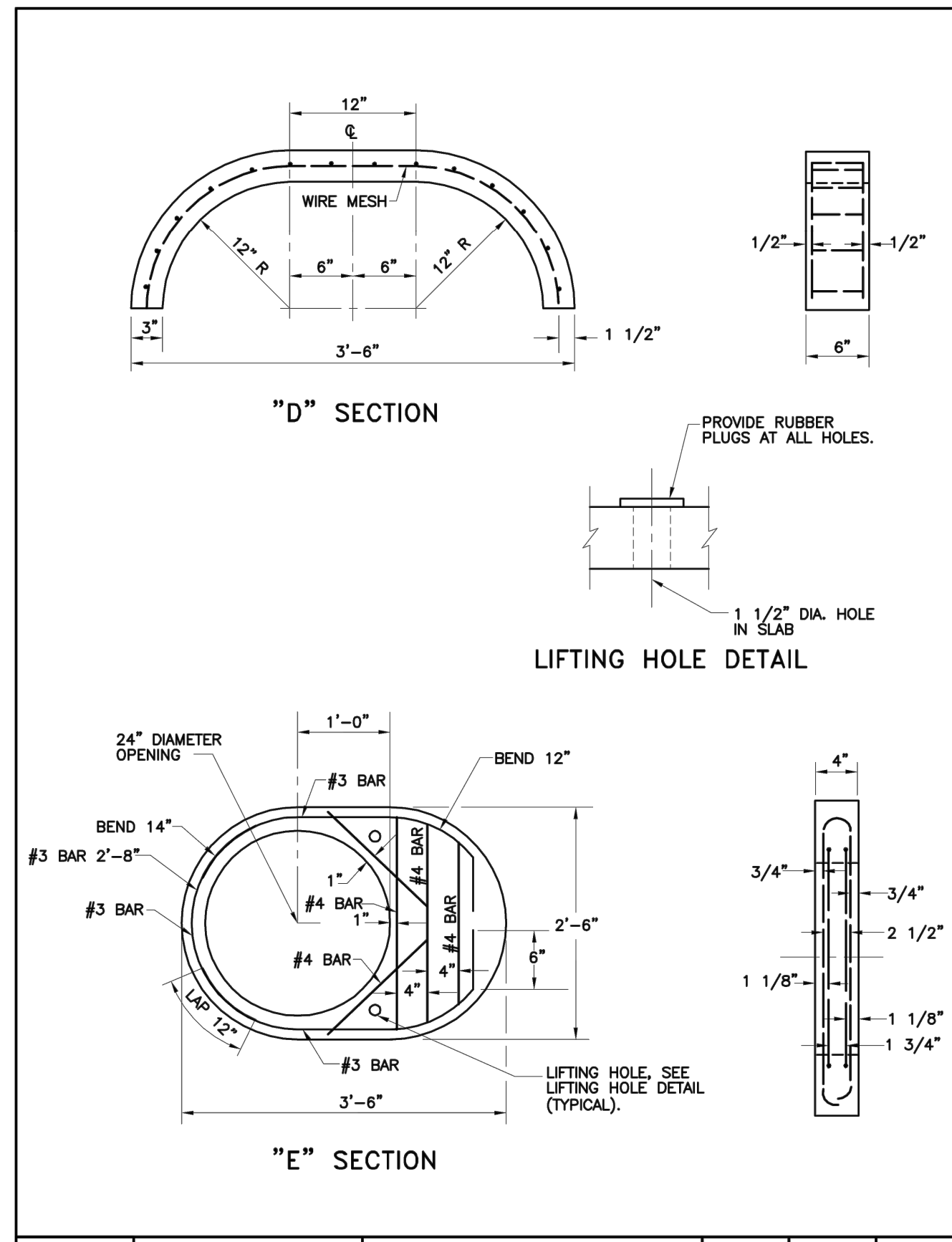
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	APPROVED: <i>[Signature]</i>	CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS BUREAU OF WATER AND WASTEWATER	ISSUED: 3/2008	REVISED:	REVISED:
	SEAL: <i>[Signature]</i>	STANDARD SECTIONS FOR SMALL CONCRETE VAULTS	STANDARD NO. BC 870.01		
SCALE: NONE			SHEET 1 OF 3		



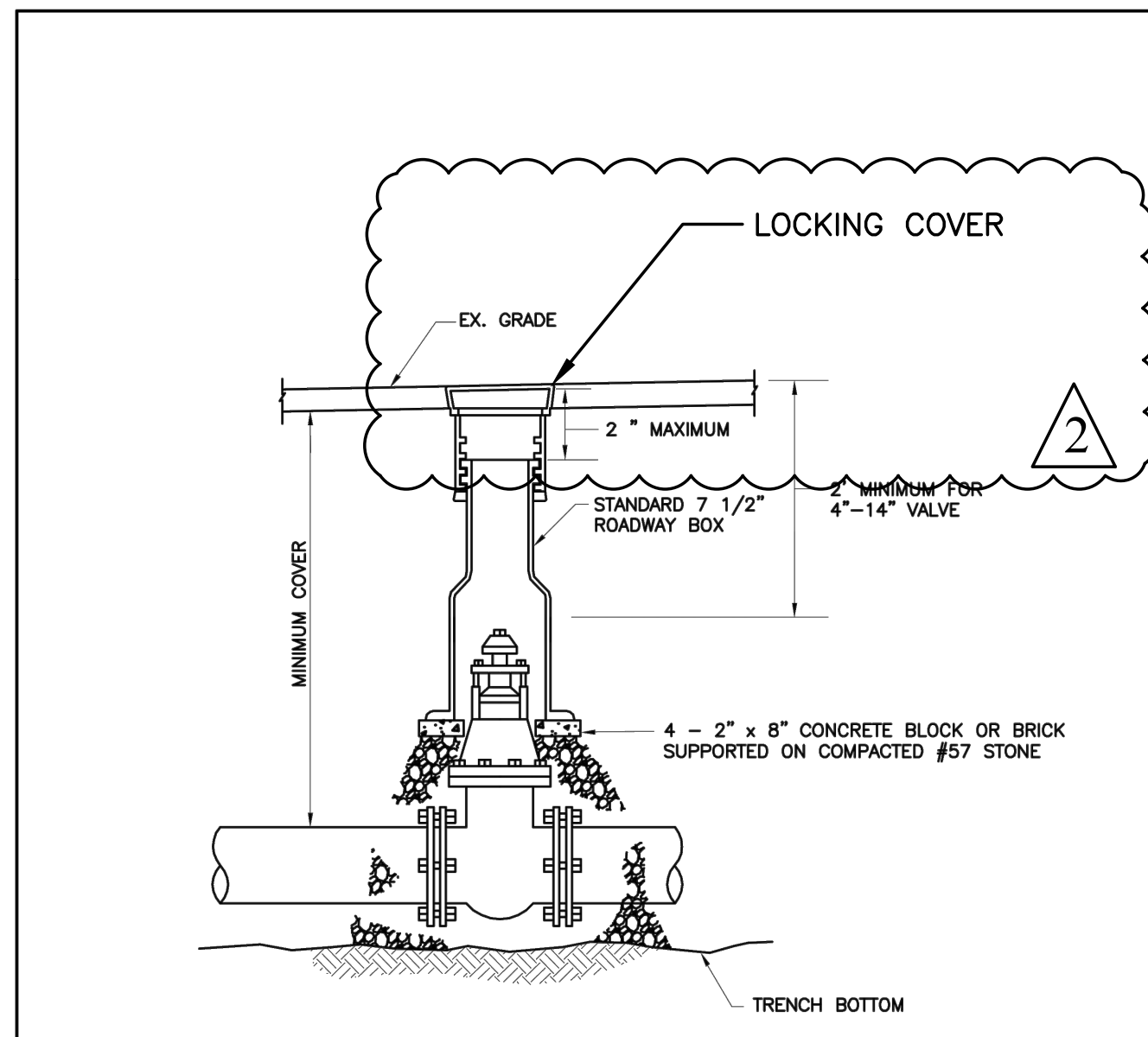
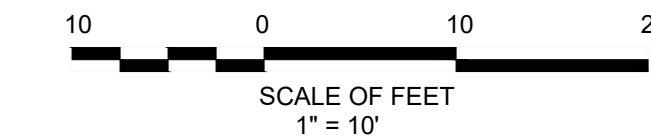
	APPROVED: <i>[Signature]</i>	CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS BUREAU OF WATER AND WASTEWATER	ISSUED: 3/2008	REVISED:	REVISED:
	SEAL: <i>[Signature]</i>	DETAIL OF SMALL SECTIONAL CONCRETE VAULT	STANDARD NO. BC 870.01		
SCALE: NONE			SHEET 2 OF 3		



	APPROVED: <i>[Signature]</i>	CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS BUREAU OF WATER AND WASTEWATER	ISSUED: 3/2008	REVISED:	REVISED:
	SEAL: <i>[Signature]</i>	DETAILS OF "D" AND "E" SECTIONS - SMALL SECTIONAL CONCRETE VAULT	STANDARD NO. BC 870.01		
SCALE: NONE			SHEET 3 OF 3		

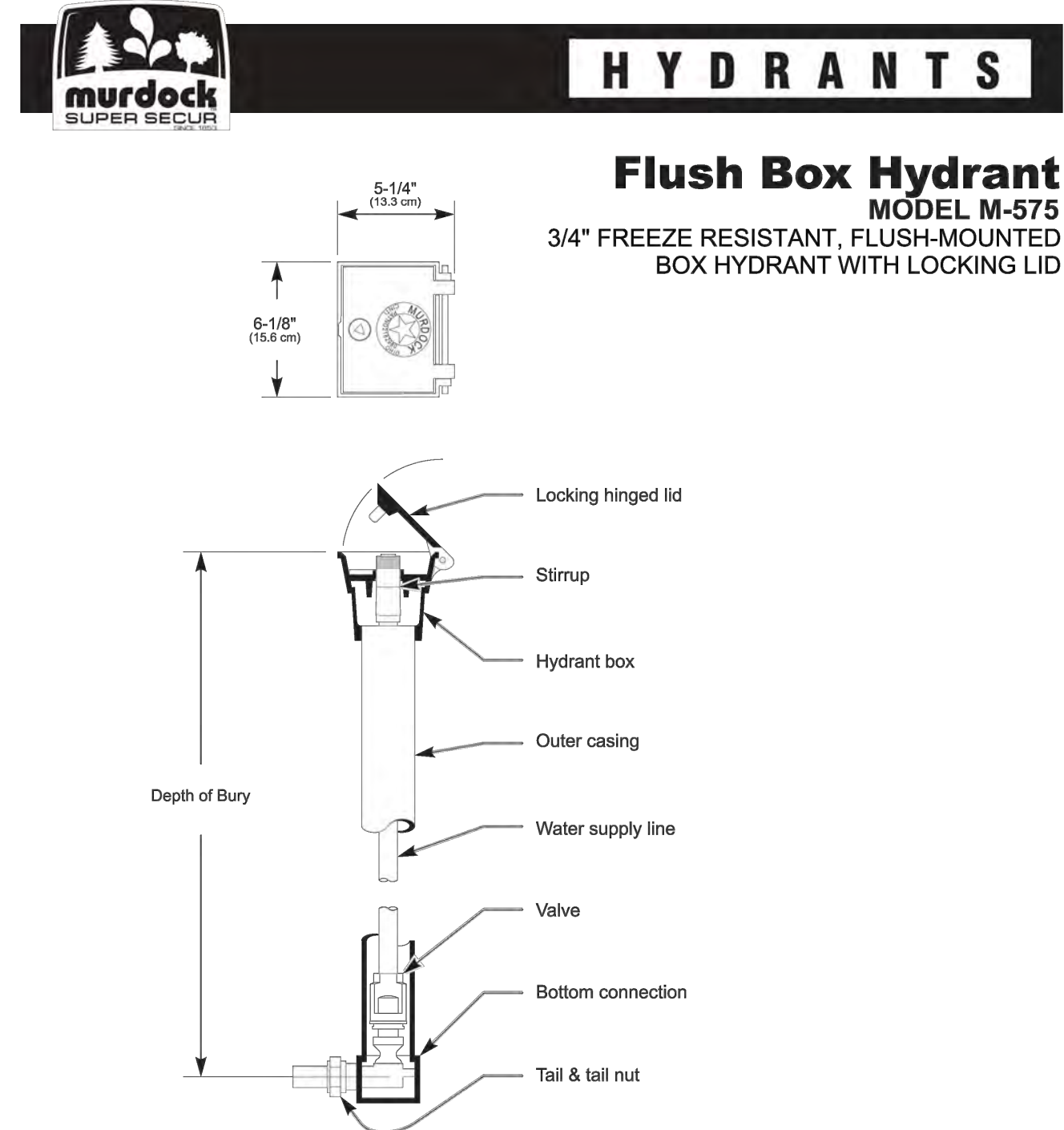
KEY PLAN:

KEYNOTES LISTED ON THIS SHEET ARE FOR CONVENIENCE ONLY. REFER TO SHEET CS.2 FOR COMPLETE LIST



NOTES:
1. NORMAL SETTING FOR 4"-14" SHOWN
2. DIMENSIONS NOTED MAY VARY DEPENDING ON MANUFACTURER

	APPROVED: <i>[Signature]</i>	CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS BUREAU OF WATER AND WASTEWATER	ISSUED: 3/2008	REVISED:	REVISED:
	SEAL: <i>[Signature]</i>	STANDARD INSTALLATION OF RESILIENT-SEATED VALVE WITH ROADWAY BOX (4" - 14")	STANDARD NO. BC 834.01		
SCALE: NONE			SHEET 1 OF 1		



ONE YEAR LIMITED WARRANTY - Parts are warranted for one (1) year from date of shipment.

SELECTION SUMMARY & APPROVAL FOR MANUFACTURING	
All dimensions are nominal and subject to manufacturer's change without notice. Murdock-Super Secur assumes no responsibility for use of steel or stainless steel.	Model Numbers & Options: _____ Quantity: _____
© Copyright 2008, Murdock-Super Secur, a Division of Acorn Engineering Company. Please visit www.murdock-supersecur.com for most current specifications.	Company: _____ Date: _____
Approval for Manufacturing/Signature: _____	Contact: _____ Title: _____

MURDOCK-SUPER SECUR A Member of Acorn Engineering's Family of Companies
15125 Proctor Avenue • City of Industry, CA 91746 USA • Phone 800-591-9880 or 626-333-2543 • Fax 626-855-4860
M-575 Rev. A 8/10/07



ONE YEAR LIMITED WARRANTY - Parts are warranted for one (1) year from date of shipment.

SELECTION SUMMARY & APPROVAL FOR MANUFACTURING	
All dimensions are nominal and subject to manufacturer's change without notice. Murdock-Super Secur assumes no responsibility for use of steel or stainless steel.	Model Numbers & Options: _____ Quantity: _____
© Copyright 2008, Murdock-Super Secur, a Division of Acorn Engineering Company. Please visit www.murdock-supersecur.com for most current specifications.	Company: _____ Date: _____
Approval for Manufacturing/Signature: _____	Contact: _____ Title: _____

MURDOCK-SUPER SECUR A Member of Acorn Engineering's Family of Companies
15125 Proctor Avenue • City of Industry, CA 91746 USA • Phone 800-591-9880 or 626-333-2543 • Fax 626-855-4860
M-575 Rev. A 8/10/07

Seal:

CARROLL ENGINEERING, INC.
215 SCHILLING CIRCLE, SUITE 102
HUNT VALLEY, MD 21031
410.785.7423
WWW.CEENGINEERING.COM

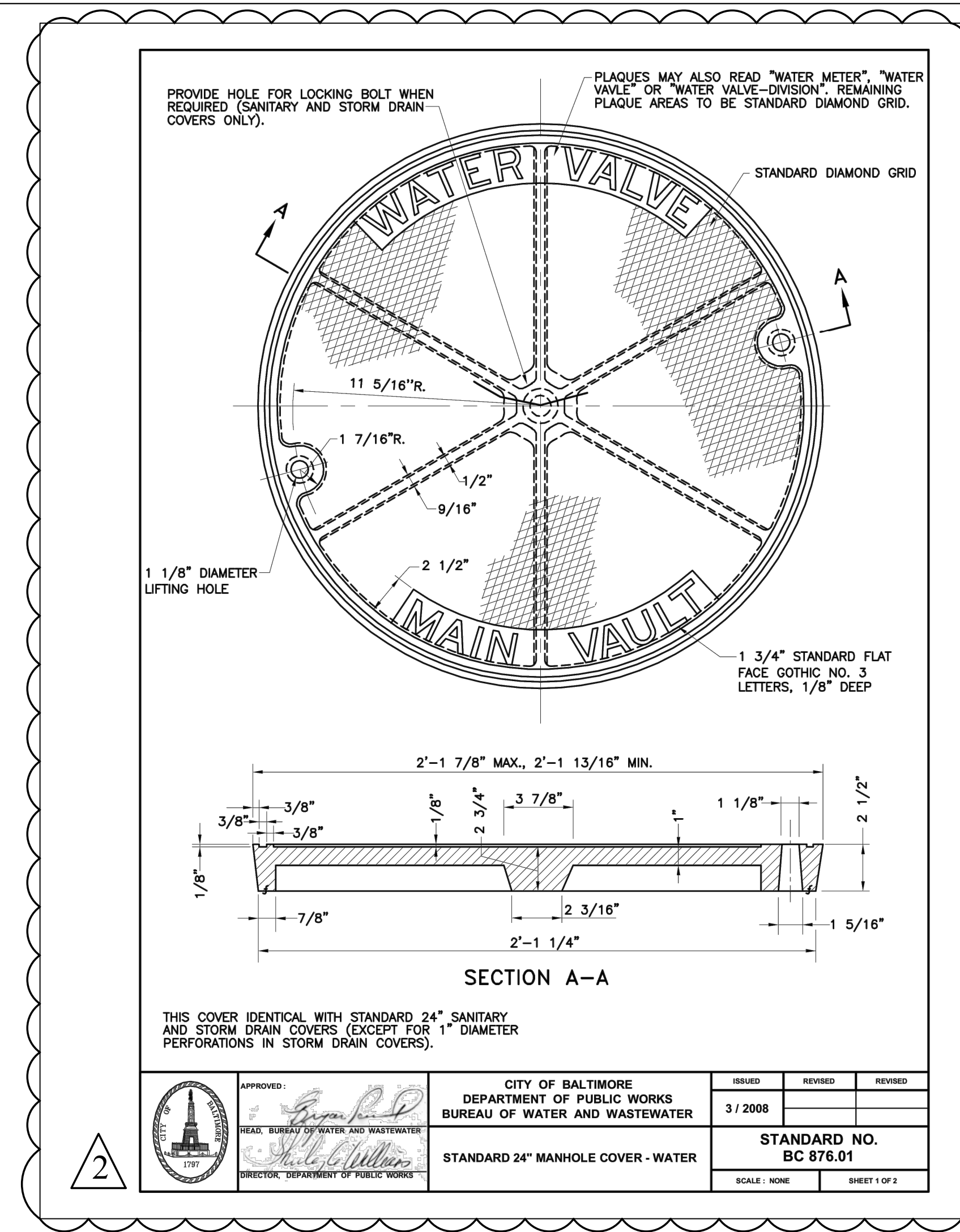
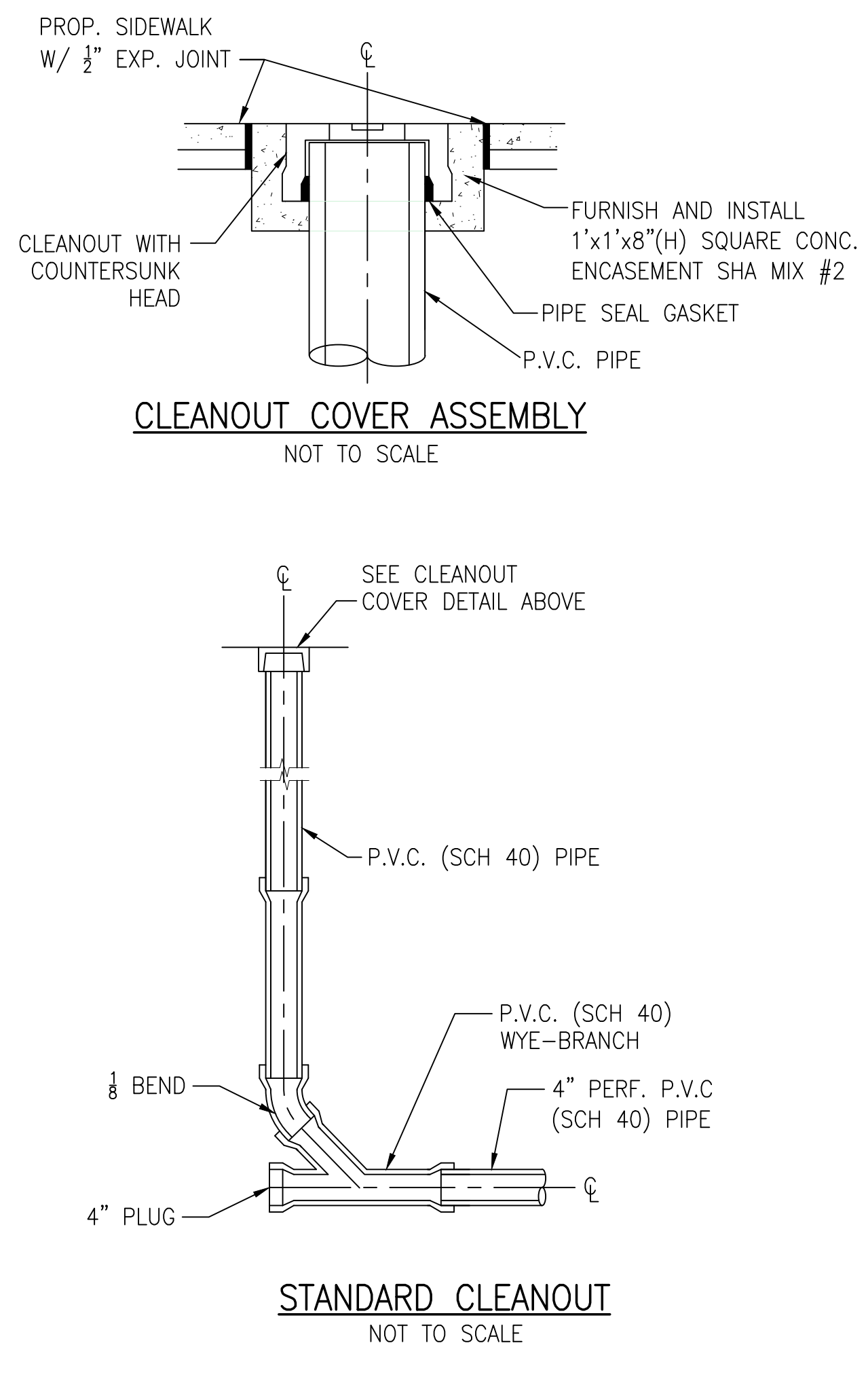
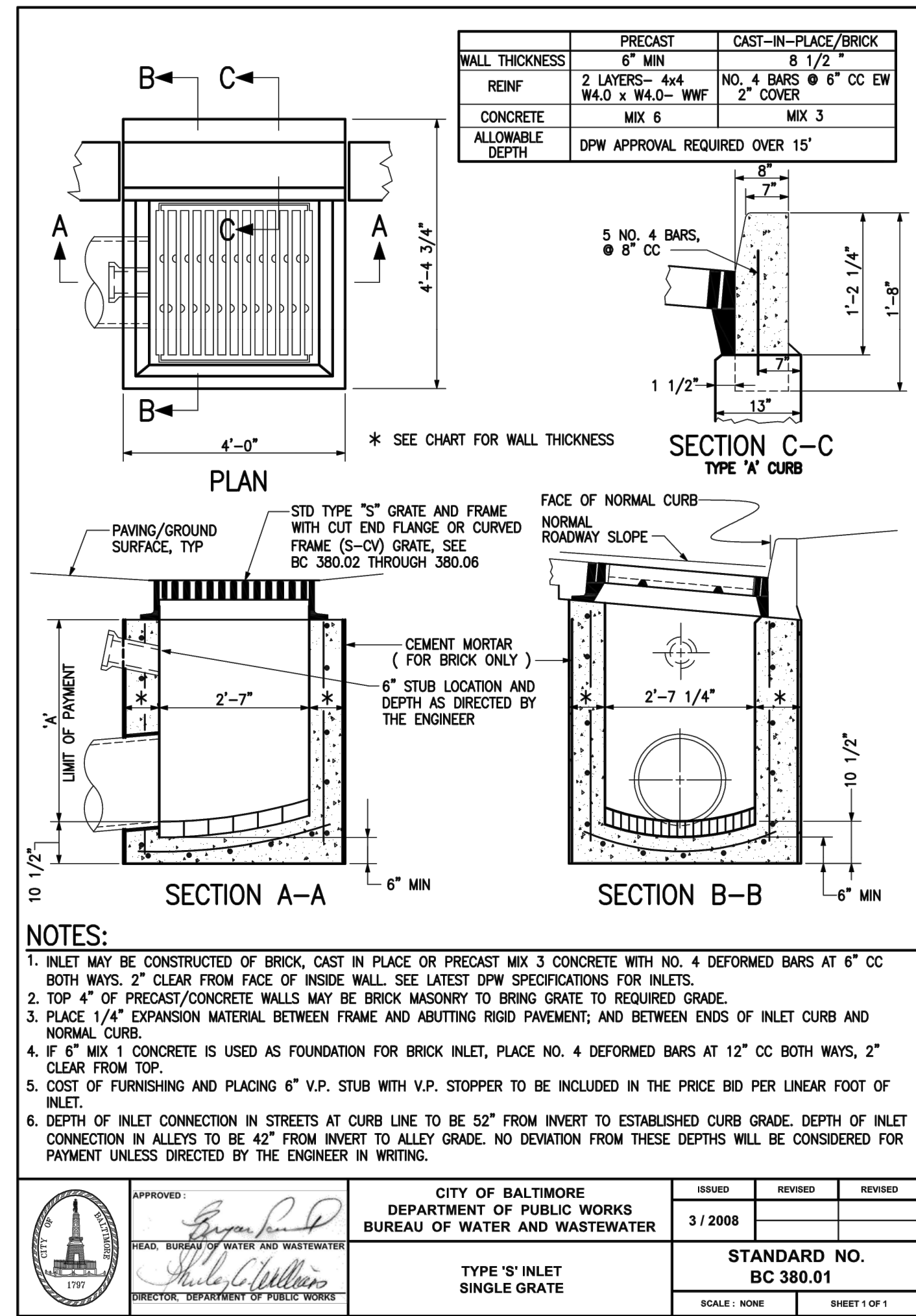
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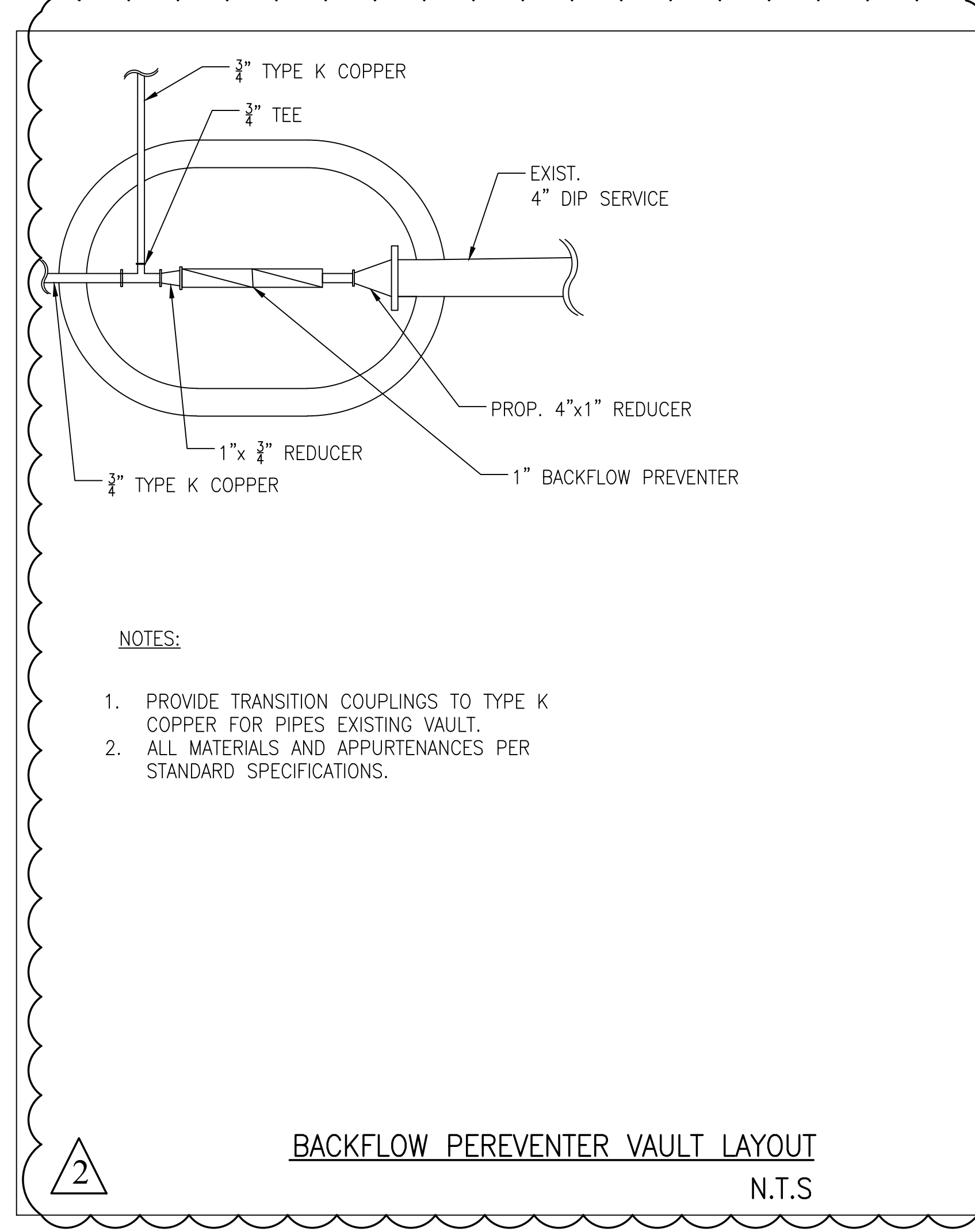
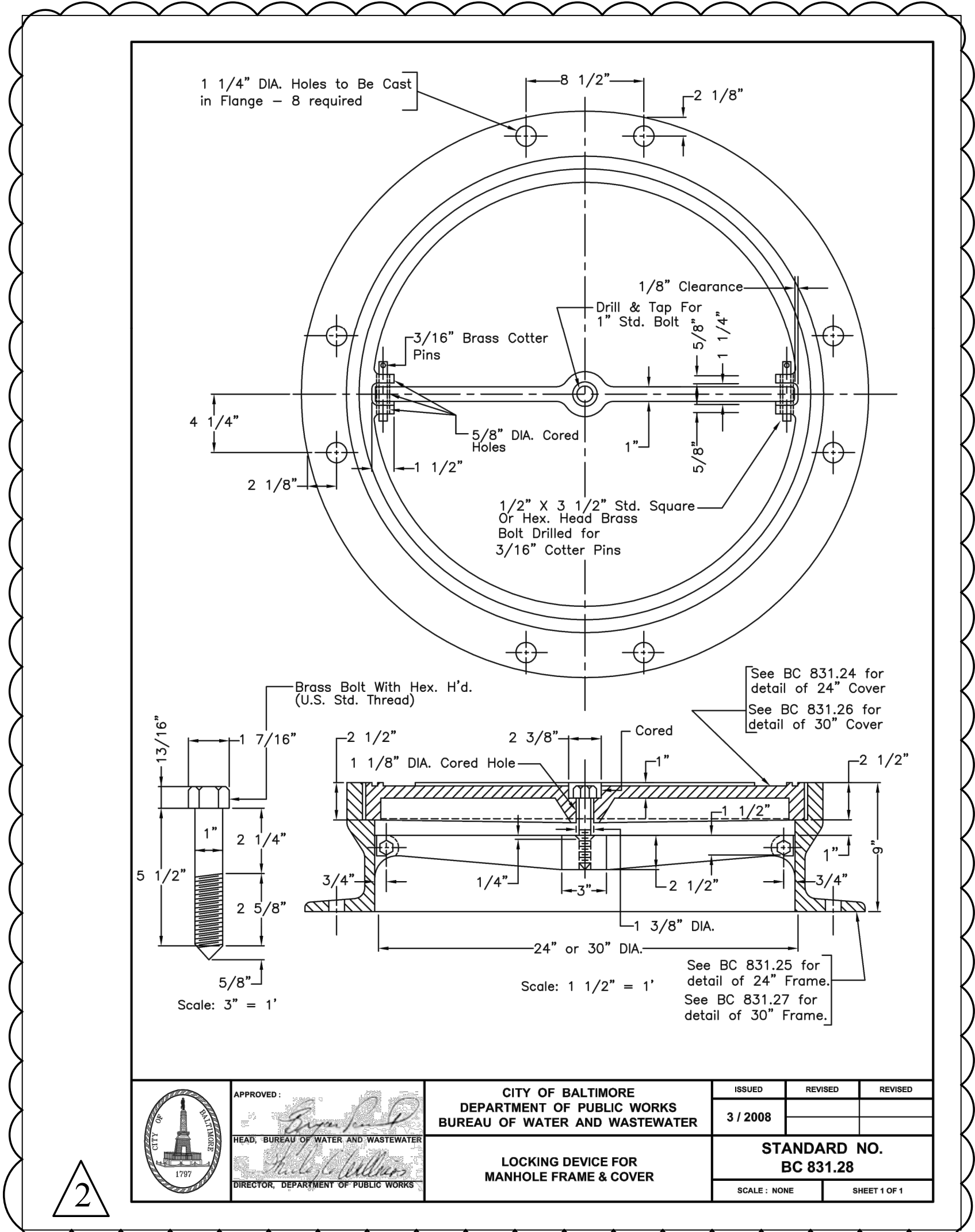
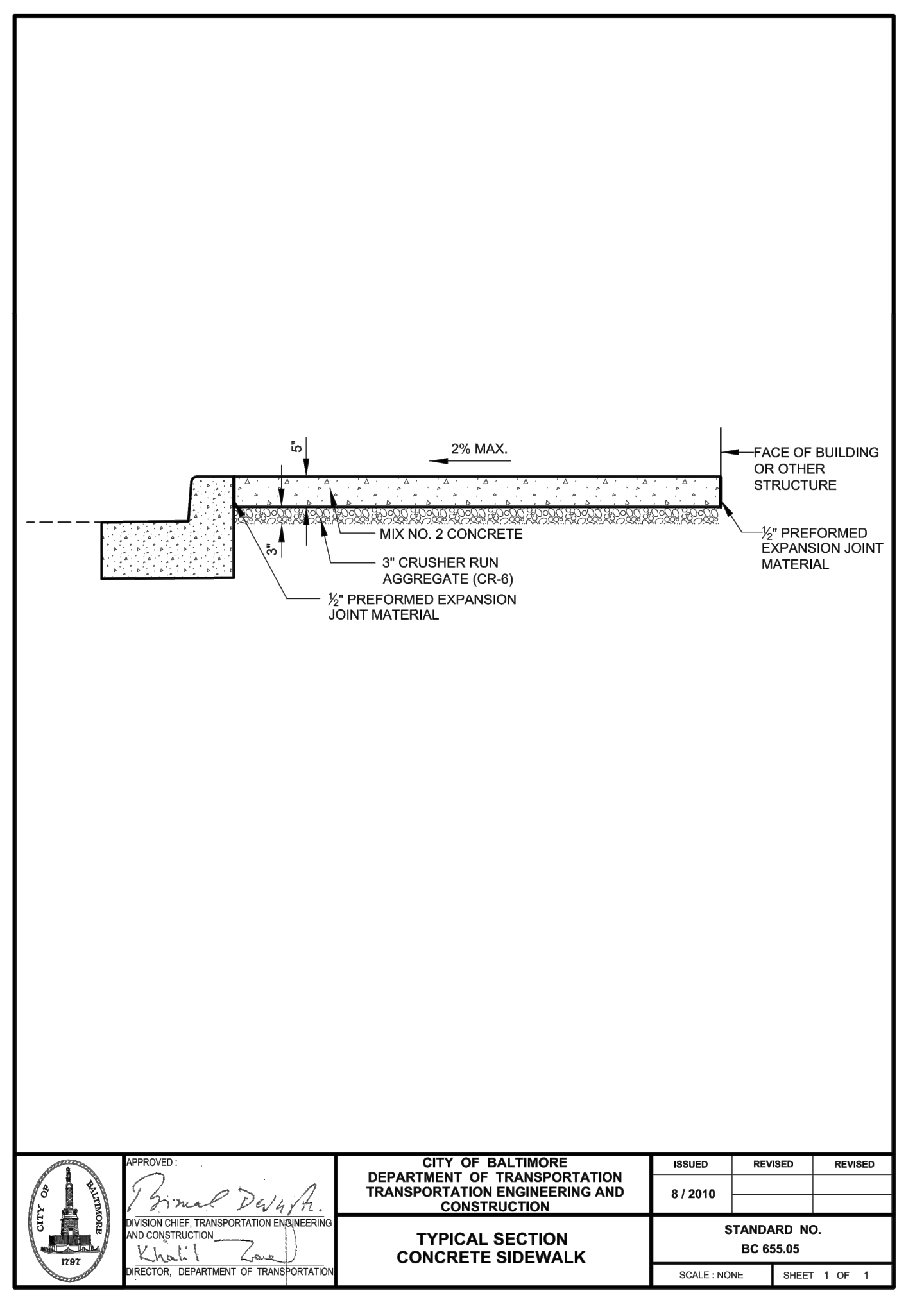
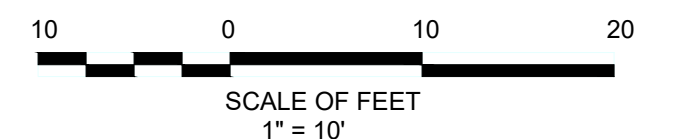
Revisions:		
No.	Date	Description
2	10/06/20	Addendum No.2

DYPSKI PARK RENOVATION			
BALTIMORE CITY DEPT. OF RECREATION & PARKS: RP 178			
Job No.	17802R	FHP	Drawn
Scale	AS SHOWN	CMS	Checked
Date	9/25/2020	JAC	Approved
Drawing Title	CIVIL DETAILS 1		Drawing Number
C3.1r			Of
Sheet			Of



KEY PLAN:

KEYNOTES LISTED ON THIS SHEET ARE FOR CONVENIENCE ONLY. REFER TO SHEET CS.2 FOR COMPLETE LIST



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Revisions:		
No.	Date	Description
△	10/06/20	Addendum No.2

DYPSKI PARK RENOVATION

BALTIMORE CITY DEPT. OF RECREATION & PARKS: RP 178

Job No.	17802R	FHP	Drawn
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Date	9/25/2020	JAC	Approved
Drawing Title	Drawing Number		

CIVIL DETAILS 2

C3.2r

Sheet

Of



- ITEMS TO SALVAGE FOR ERECTION ON NEW SITE INCLUDE BUT ARE NOT LIMITED TO:
- A. RIDGE RAFTER
 - B. UPPER ROOF RAFTERS
 - C. UPPER ROOF CHORDS
 - D. LOWER TRUSS-TO-CLERESTORY RODS
 - E. CLERESTORY FRAMING - SEE DETAIL PHOTO
 - F. LOWER ROOF RAFTERS
 - G. LOWER ROOF BEAMS
 - H. TRANSVERSE TRUSSES (TT) - TOP CHORDS
 - I. NEW 3/4" HAT CHANNELS (MAXIMUM SPAN 2'-0") AT MAXIMUM 42" O.C., MCELROY METAL MSG 1, 16 GA OR APPROVED EQUAL
 - J. TT - TENSION RODS
 - K. TT - WEB MEMBERS (VARIOUS)
 - L. TRANSVERSE-TRUSS-TO-LONGITUDINAL-TRUSS STRUTS
 - M. TT - UPPER BOTTOM CHORDS
 - N. LONGITUDINAL TRUSSES (LT) - TOP CHORDS
 - O. LT - WEB MEMBERS (VARIOUS)
 - P. LT - COLUMN BEARING STRUTS (STEEL)
 - Q. LT - COLUMN BEARING STRUTS and WEBS (WOOD)
 - R. LT - BOTTOM CHORDS
 - S. TT - LOWER BOTTOM CHORDS
 - T. LONGITUDINAL EDGE COLUMN BEARING BEAMS
 - U. NEW 22 GA STEEL STANDING SEAM ROOF
 - V. NEW RAKE TRIM TO MATCH NEW ROOF
 - W. NEW REVERSE RAKE TRIM TO MATCH NEW ROOF
 - X. NEW RIDGE COVER TO MATCH NEW ROOF
 - Y. NEW COLUMN TYPE 1 - "EDEN" (6") BY ARCHITECTURAL IRON COMPANY, OR APPROVED EQUAL
 - Z. NEW COLUMN TYPE 2 - "EXETER" (4") BY ARCHITECTURAL IRON COMPANY, OR APPROVED EQUAL
- THE LIST ABOVE IS NOT A COMPREHENSIVE LIST OF EVERY PIECE OF THE STRUCTURO-SKELETAL SYSTEM TO BE ERECTED. IT IS THE BIDDING CONTRACTORS RESPONSIBILITY TO SALVAGE ALL PARTS AS NECESSARY TO ERECT THE PAVILION ON THE NEW SITE. ANY COMPONENTS NOT SALVAGED, DAMAGED, LOST, ETC. ARE THE CONTRACTOR'S RESPONSIBILITY TO ACCOUNT FOR. ANY NEW REPLACEMENTS PARTS MUST BE APPROVED BY THE ENGINEER.



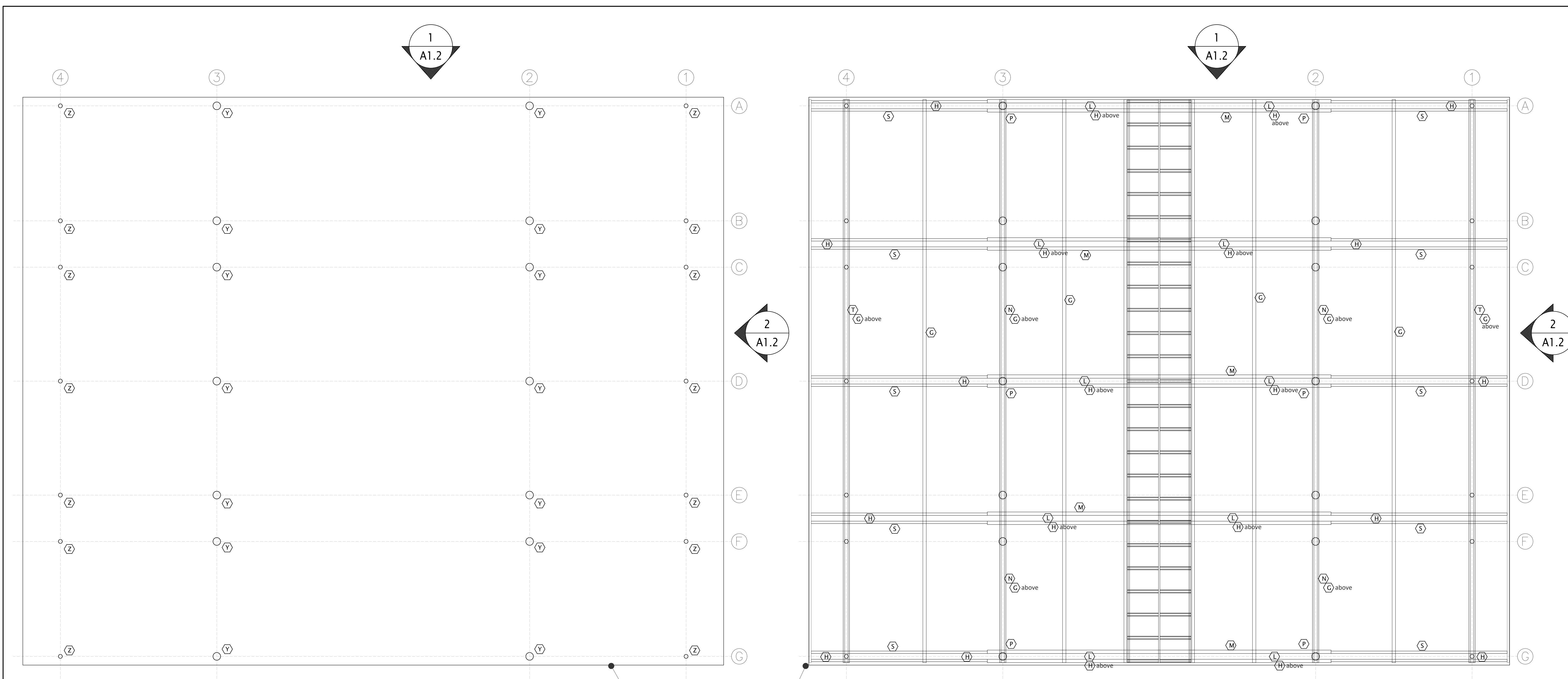
- ITEMS NOT INTENDED FOR RE-USE ON NEW SITE INCLUDE BUT ARE NOT LIMITED TO:
1. UPPER ROOF, INCLUDING RIDGE COVER, SHEATHING, AND DRIP-EDGES
 2. CLERESTORY COVER/SIDING
 3. LOWER ROOF, INCLUDING SHEATHING, AND DRIP-EDGES
 4. MAIN FASCIA COVER/SIDING INCLUDING:
 5. FRAMING and
 6. SHEATHING
 7. MAJOR/CENTRAL CAST-IRON COLUMNS
 8. MINOR/LONGITUDINAL EDGE CAST-IRON COLUMNS
- THE LIST ABOVE IS NOT A COMPREHENSIVE LIST OF EVERY ELEMENT TO BE DEMOLISHED.



DYPSKI PARK SITE IMPROVEMENTS
 1225 S. Ellwood Ave, Baltimore, MD 21223

Block 1898
 Lot 19A

CITY OF BALTIMORE DEPARTMENT OF RECREATION AND PARKS		DRAWN BY <u>L. DECKER</u>
DEMOLITION PLAN AND PHOTOGRAPHS (PAVILION)		TRACED BY _____
SCALE <u>NTS</u>		DESIGNED BY _____
DATE <u>September 25, 2020</u>		CHECKED BY _____
		PROJECT NO. SHEET NO. RP17802R L1.1r



1 PLAN
A1.1 SCALE: 1/4"=1'-0"

2 REFLECTED CEILING PLAN
A1.1 SCALE: 1/4"=1'-0"

- A. RIDGE RAFTER
- B. UPPER ROOF RAFTERS
- C. UPPER ROOF CHORDS
- D. LOWER TRUSS-TO-CLERESTORY RODS
- E. CLERESTORY FRAMING - SEE DETAIL PHOTO
- F. LOWER ROOF RAFTERS
- G. LOWER ROOF BEAMS
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- W. NEW REVERSE RAKE TRIM TO MATCH NEW ROOF
- X. NEW RIDGE COVER TO MATCH NEW ROOF
- Y. NEW COLUMN TYPE 1 - "EDEN" (6") BY ARCHITECTURAL IRON COMPANY, OR APPROVED EQUAL
- Z. NEW COLUMN TYPE 2 - "EXETER" (4") BY ARCHITECTURAL IRON COMPANY, OR APPROVED EQUAL

THE LIST ABOVE IS NOT A COMPREHENSIVE LIST OF EVERY PIECE OF THE STRUCTURO-SKELETAL SYSTEM TO BE ERECTED. IT IS THE BIDDING CONTRACTORS RESPONSIBILITY TO SALVAGE ALL PARTS AS NECESSARY TO ERECT THE PAVILION ON THE NEW SITE. ANY COMPONENTS NOT SALVAGED, DAMAGED, LOST, ETC. ARE THE CONTRACTOR'S RESPONSIBILITY TO ACCOUNT FOR. ANY NEW REPLACEMENTS PARTS MUST BE APPROVED BY THE ENGINEER.

DYPSKI PARK SITE IMPROVEMENTS

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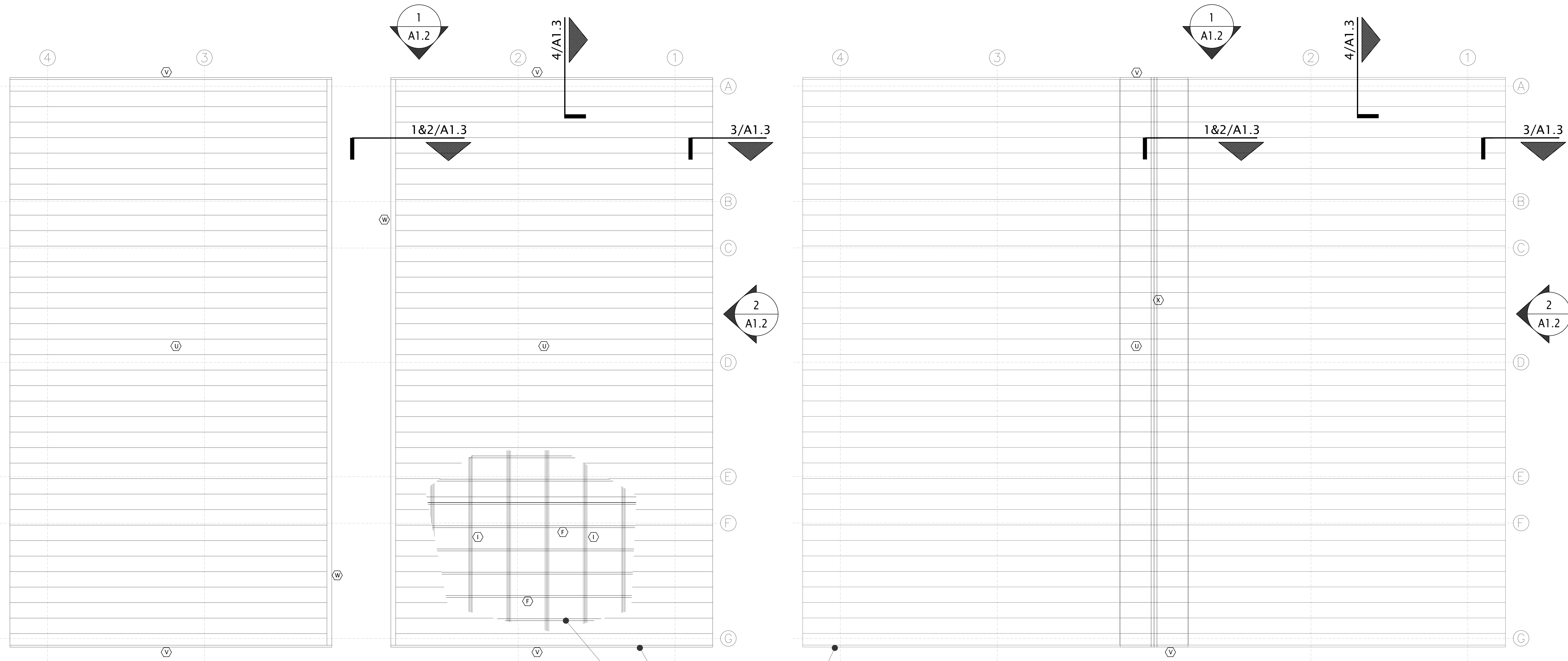
Block 1898
Lot 19A

CITY OF BALTIMORE
DEPARTMENT OF RECREATION AND PARKS

PAVILION ERECTION PLANS

SCALE see drawing scale DATE September 25, 2020

DRAWN BY L. DECKER
 TRACED BY _____
 DESIGNED BY _____
 CHECKED BY _____
 PROJECT NO. SHEET NO.
RP17802R A1.0r



1 ROOF PLAN
A1.1 SCALE: 1/4"=1'-0"

2 UPPER ROOF PLAN
A1.1 SCALE: 1/4"=1'-0"

ROOF LINE
CUTAWAY SHOWING NEW HAT CHANNELS ON EXISTING RAFTERS

- A. RIDGE RAFTER
- B. UPPER ROOF RAFTERS
- C. UPPER ROOF CHORDS
- D. LOWER TRUSS-TO-CLERESTORY RODS
- E. CLERESTORY FRAMING - SEE DETAIL PHOTO
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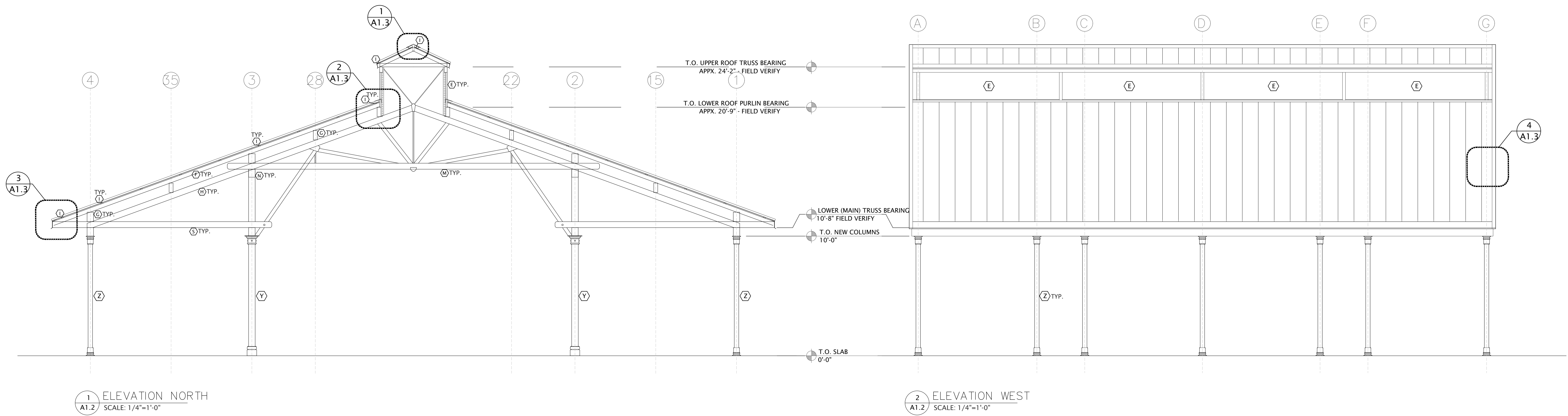
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Block 1898
Lot 19A

CITY OF BALTIMORE DEPARTMENT OF RECREATION AND PARKS		DRAWN BY <u>L. DECKER</u>
PAVILION ERECTION PLANS		TRACED BY _____
		DESIGNED BY _____
		CHECKED BY _____
		PROJECT NO. SHEET NO.
		RP17802R A1.1r
SCALE <u>see drawing scale</u>	DATE <u>September 25, 2020</u>	



- A. RIDGE RAFTER
- B. UPPER ROOF RAFTERS
- C. UPPER ROOF CHORDS
- D. LOWER TRUSS-TO-CLERESTORY RODS
- E. CLERESTORY FRAMING - SEE DETAIL PHOTO
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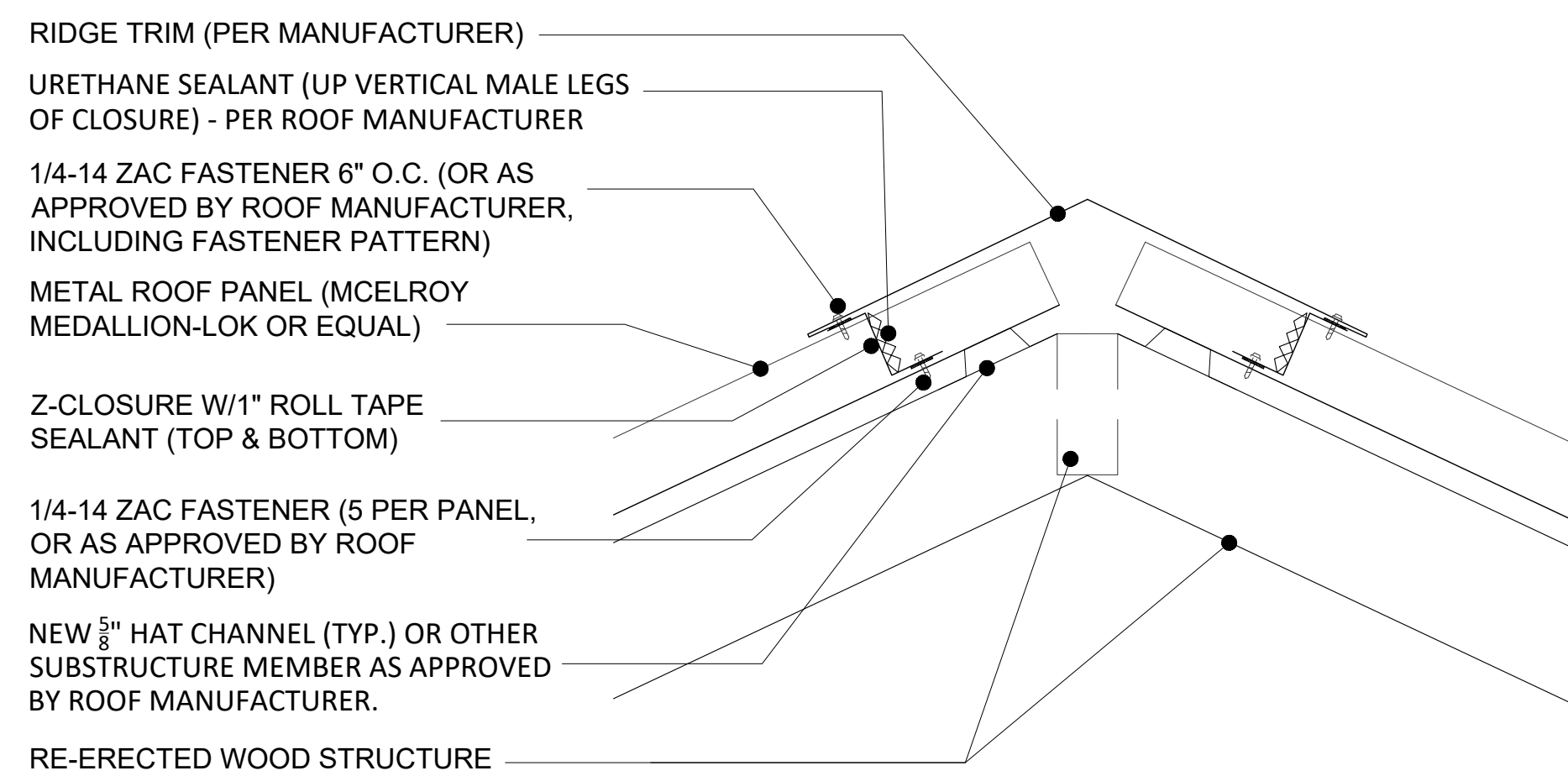
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DYPSKI PARK SITE IMPROVEMENTS

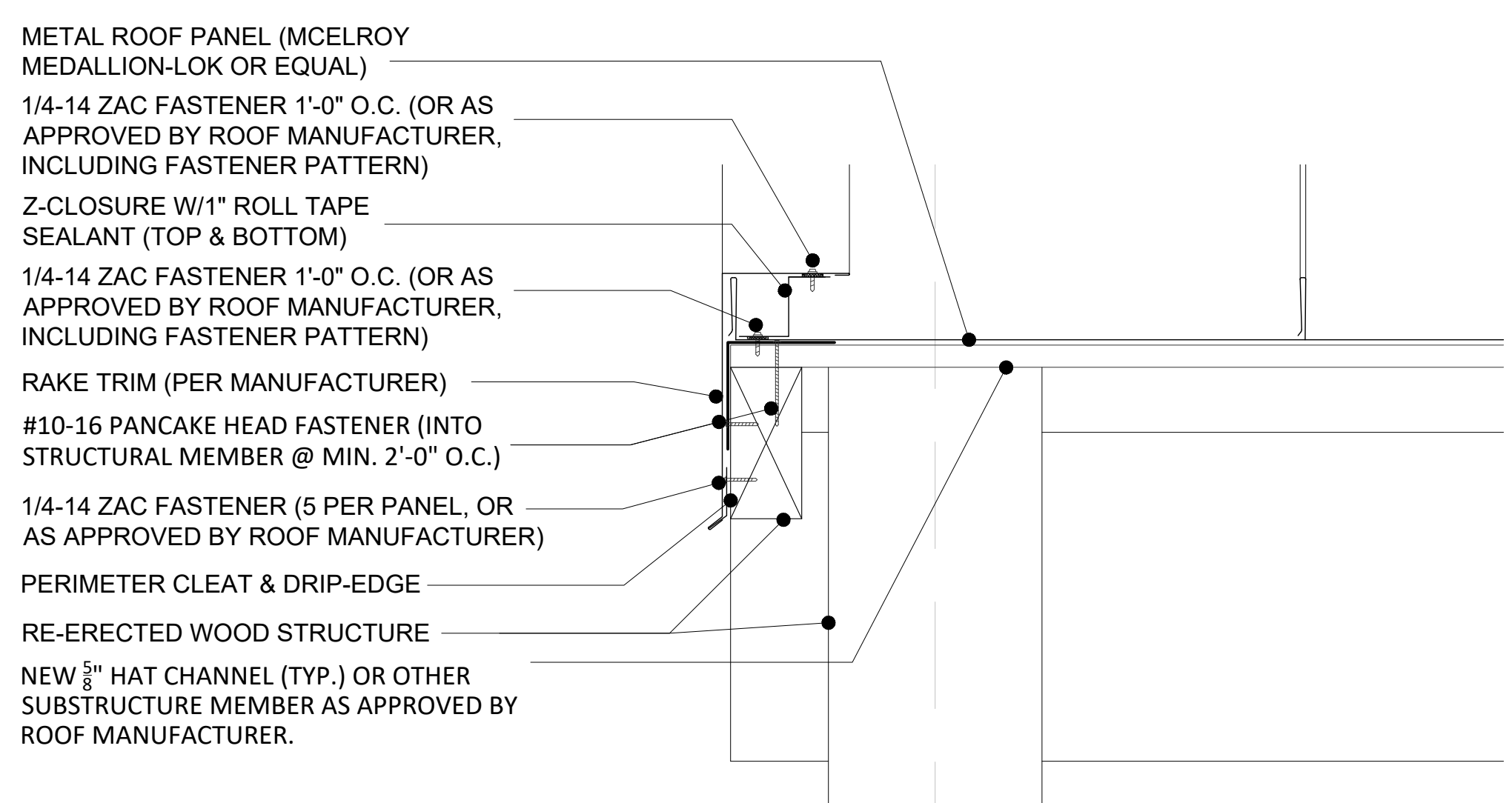
1225 S. Ellwood Ave, Baltimore, MD 21223

Block 1898
Lot 19A

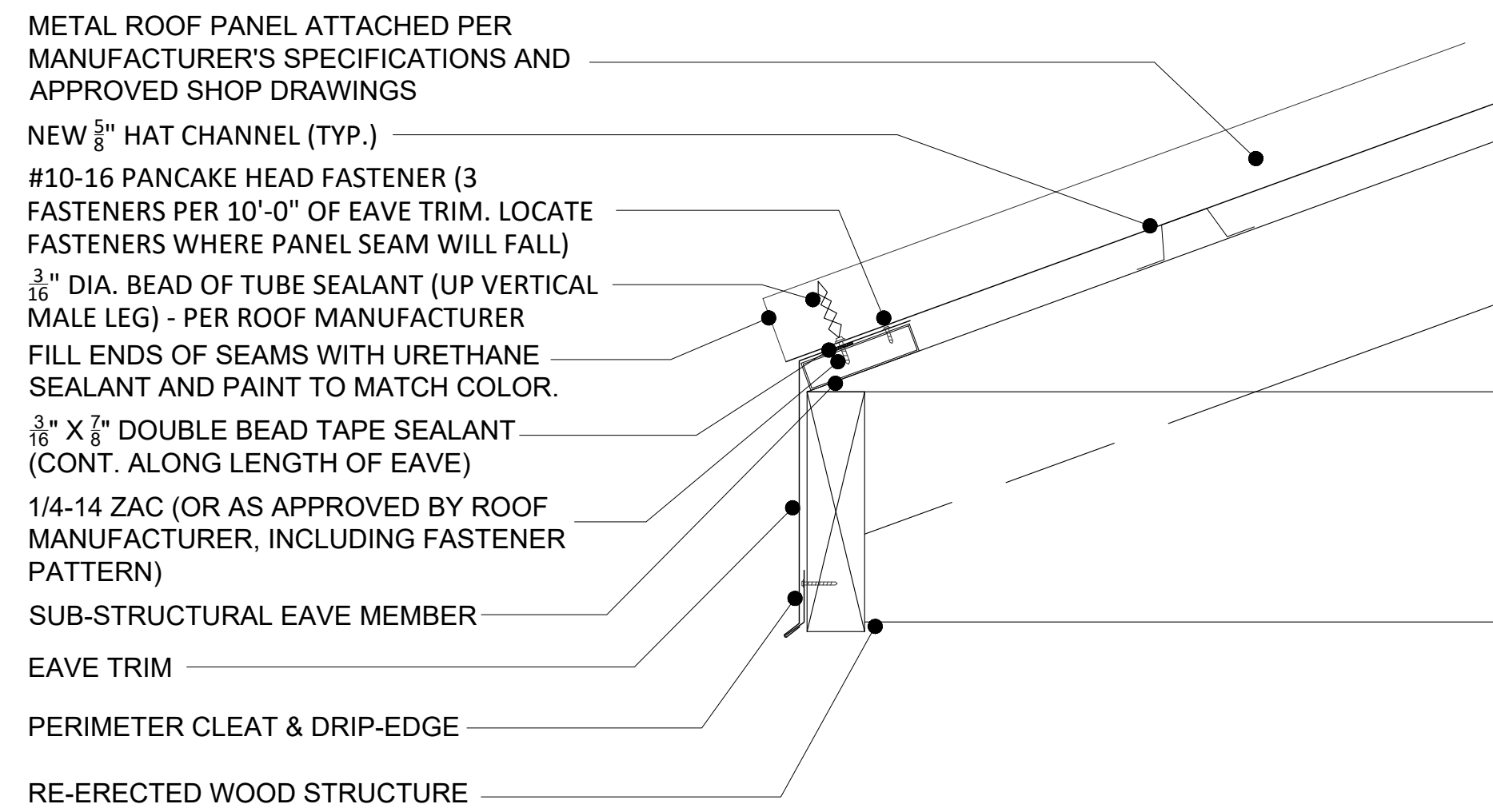
CITY OF BALTIMORE DEPARTMENT OF RECREATION AND PARKS		DRAWN BY <u>L. DECKER</u>
PAVILION ERECTION ELEVATIONS		TRACED BY _____
		DESIGNED BY _____
		CHECKED BY _____
		PROJECT NO. _____ SHEET NO. _____
		RP17802R A1.2r
SCALE _____	DATE <u>September 25, 2020</u>	



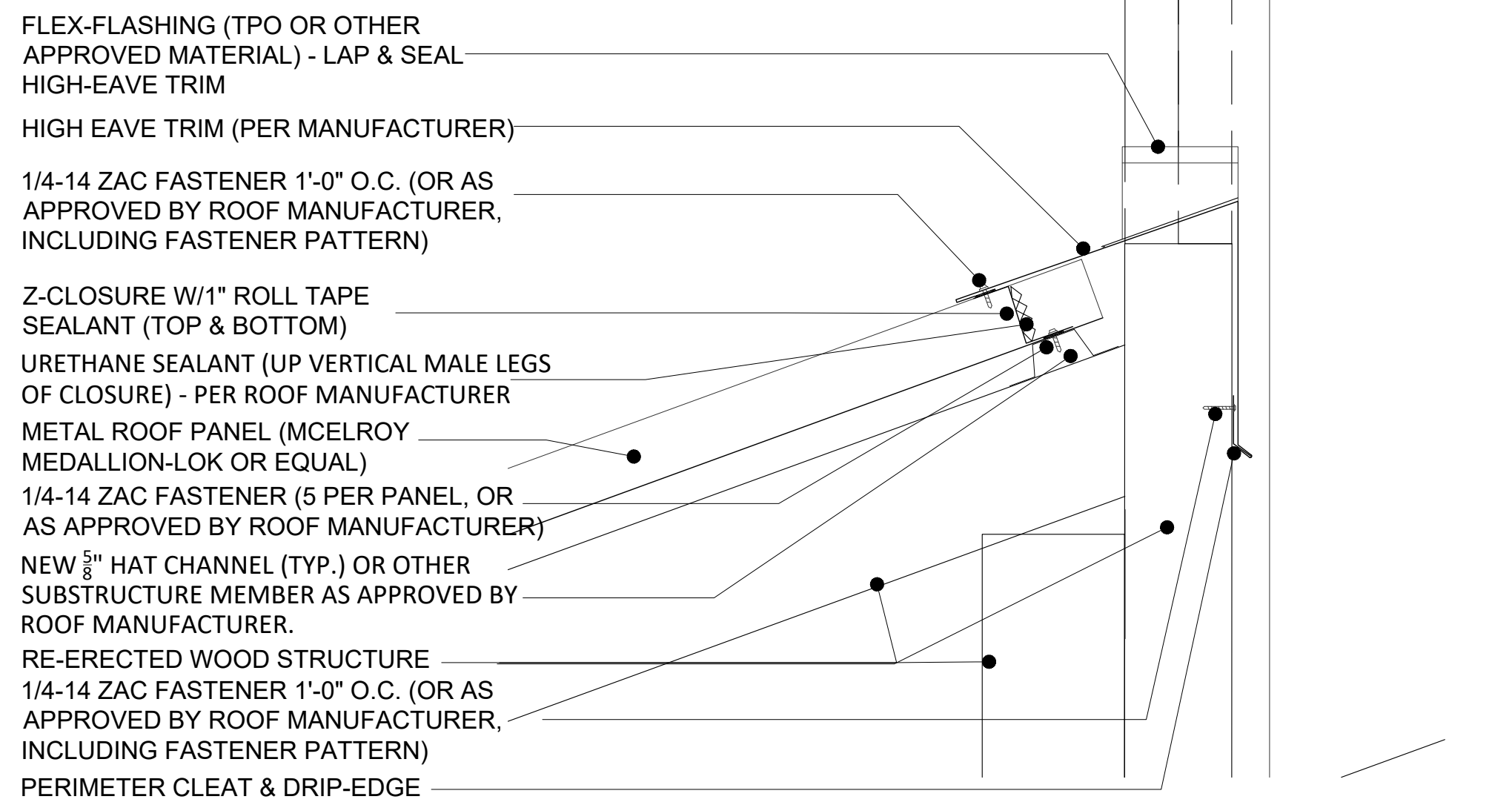
1 ROOF DETAIL AT RIDGE
 A1.3 SCALE: 3"=1'-0"



2 ROOF DETAIL AT TYPICAL RAKE ON STARTING PANEL
 A1.3 SCALE: 3"=1'-0"



3 ROOF DETAIL AT TYPICAL EAVE
 A1.3 SCALE: 3"=1'-0"



4 ROOF DETAIL AT CLERESTORY BASE (HIGH EAVE)
 A1.3 SCALE: 3"=1'-0"

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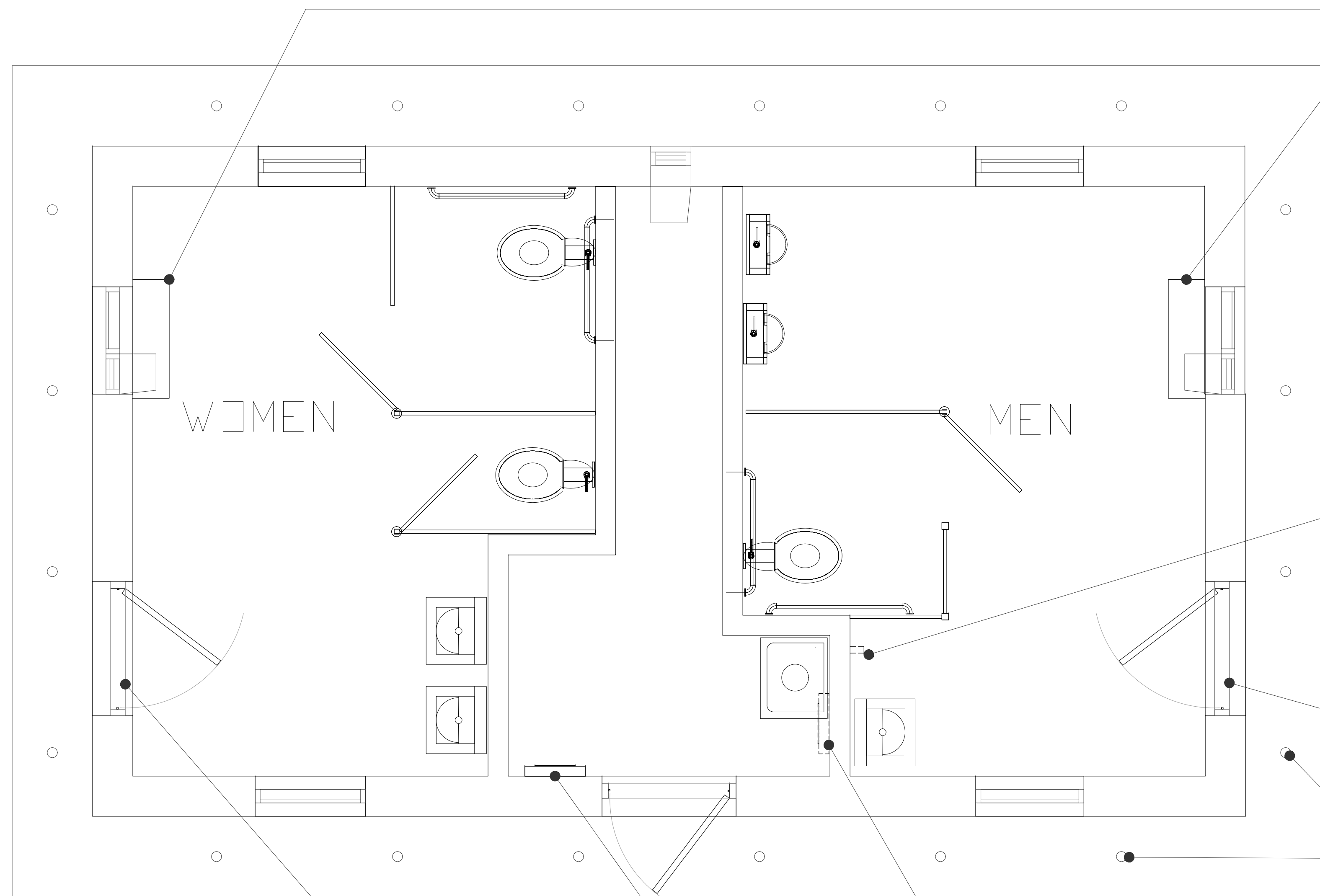
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CITY OF BALTIMORE
 DEPARTMENT OF RECREATION AND PARKS

PAVILION ERECTION
 ROOF DETAILS

SCALE see drawing scale DATE September 30, 2020

DRAWN BY L. DECKER
 TRACED BY _____
 DESIGNED BY _____
 CHECKED BY _____
 PROJECT NO. RP17802R SHEET NO. A1.3r



FABRICATE AND INSTALL NEW VANDAL-RESISTANT STEEL ENCLOSURES TO PROTECT EXHAUST LOUVER MECHANISMS. PAINT TO MATCH WINDOW FRAME FINISH. SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER BEFORE PROCEEDING WITH FABRICATION.

REMOVE PORTION OF OLD PIPE PROTRUDING FROM THE FINISHED WALL SURFACE. PATCH AND REFINISH PER ADJACENT FINISHED SURFACE.

PROVIDE AND INSTALL NEW CORES IN BOTH EXISTING LOCKS. COORDINATE WITH ENGINEER AS KEYING MUST MATCH CITY-WIDE COMFORT-STATION KEY ACCESS.

PROVIDE AND INSTALL NEW SOFFIT LIGHTS IN EXISTING OPENINGS. SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATION AND WIRING

REMOVE EXISTING FUSE PANEL. PATCH HOLES AND REFINISH WALL PER ADJACENT FINISHED SURFACE

APPROXIMATE LOCATION OF NEW FUSE PANEL - SEE ELECTRICAL DRAWINGS

PROVIDE AND INSTALL NEW CORES IN BOTH EXISTING LOCKS. COORDINATE WITH ENGINEER AS KEYING MUST MATCH CITY-WIDE COMFORT-STATION KEY ACCESS.

1 COMFORT STATION PLAN
A1.4 SCALE: 1/2"=1'-0"

DYPSKI PARK SITE IMPROVEMENTS

1225 S. Ellwood Ave, Baltimore, MD 21223

Block 1898
Lot 19A

CITY OF BALTIMORE
DEPARTMENT OF RECREATION AND PARKS

COMFORT STATION IMPROVEMENTS

SCALE see drawing scale DATE September 25, 2020

DRAWN BY L. DECKER

TRACED BY _____

DESIGNED BY _____

CHECKED BY _____

PROJECT NO. SHEET NO.

RP17802R A1.4r