
CITY OF BALTIMORE

BRANDON M. SCOTT,
Mayor



DEPARTMENT OF RECREATION AND
PARKS

CAPITAL DEVELOPMENT AND PLANNING
2600 Madison Avenue
Baltimore, Maryland 21217

MARY E. RODMAN RECREATION CENTER RENOVATION

September 07, 2021

CONTRACT NO. 20814

ADDENDUM NO. 1

For: SPECIFICATIONS AND DRAWINGS

FOR THE MAYOR AND CITY COUNCIL OF BALTIMORE

TO BIDDERS: THIS ADDENDUM IS HEREBY MADE A PART OF THE CONTRACT DOCUMENTS ON WHICH THE CONTRACT WILL BE BASED, AND IS ISSUED TO MODIFY, EXPLAIN AND/OR CORRECT THE ORIGINAL DRAWINGS AND SPECIFICATIONS. **PLEASE ATTACH THIS ADDENDUM TO YOUR CONTRACT DOCUMENTS AND ACKNOWLEDGE IT ON THE BID OR PROPOSAL PAGE WHERE INDICATED.**

PLEASE CHANGE BIDS DUE DATE FROM 09/15/2021 TO 10/06/2021

APPROVED:

Adam Boarman, RLA
CHIEF OF CAPITAL DEVELOPMENT
DEPARTMENT OF RECREATION AND PARKS

Reginald Moore
DIRECTOR OF RECREATION AND PARKS

A. CHANGES TO THE SPECIFICATIONS:

ITEM NO.	SECTION NO.	DESCRIPTION OF CHANGES
1.1	TABLE OF CONTENTS	DELETE page XIV and Replace with page XIVR
1.2	TABLE OF CONTENTS	DELETE page XVI and Replace with page XVI R
1.3	INSTRUCTIONS TO BIDDERS	DELETE page 4 and Replace with page 4R
1.4	SPECIAL CONDITIONS	DELETE pages 8-12 and Replace with pages 8R-12F
1.5	DIVISION 01 GENERAL REQUIREMENTS	DELETE page 34 and Replace with page 34R
1.6	SECTION 08 43 13 ALUMINUM-FRAMED STOREFRONT WINDOWS	DELETE pages 202-204 and Replace with pages 202R-204R
1.7	SECTION 08 66 20 NARROWLINE SECURITY SCREEN	ADD pages 211A-211B
1.8	SECTION 09 31 00 CERAMIC TILE	DELETE page 255 and Replace with page 255R
1.8A	SECTION 09 67 23 RESINOUS FLOORING	DELETE page 293 and Replace with page 293R

1.9	SECTION 10 28 00 TOILET ACCESSORIES	DELETE pages 323-326 and Replace with pages 323R-326R
2.0	BID OR PROPOSAL	DELETE page 569 and Replace with page 569R ADD pages 571A-571E DELETE page 580 and Replace with page 580R
2.1	MINORITY AND WOMEN'S OPPORTUNITY REQUIREMENTS AND FORMS	DELETE page 588 and Replace with page 588R
2.2	THE BALTIMORE APPRENTICE TRAINEE PROGRAM	DELETE page 590 and Replace with page 590R
2.3	THE BALTIMORE CITY EMPLOY BALIMORE	DELETE page 603 and Replace with page 603R

B. CHANGES TO THE DRAWINGS

ITEM NO.	SHEET NO. AND DESCRIPTION OF CHANGES
2.4	Sheet CS-1, Cover Sheet 1. Construction Documents date change
2.5	Sheet A-101, New Floor Plan

1. Floor Plan update in Exec. Toilet 102 A to show toilet tissue dispenser and sanitary napkin disposal unit
2. Floor Plan update in Women 104 to show middle sink, baby changing station and electric hand dryer
3. Floor Plan update in Men 106 to show baby changing station and electric hand dryer.
4. Floor Plan revised to Hall to be room number 110 and door to be door 110.
5. Floor Plan revised to show door 111-4 as 111-3

2.6

Sheet A-104, Finish Plans

1. Room Finish Schedule revised to Walk off mat, ACT-1 and PNT in the Vestibule.
2. Room Finish Schedule revised to GYP in 102A, and 103
3. Room Finish Schedule revised to remove Exec. Office Room 102 A
4. Room Finish Schedule revised to show rooms 404 and 405

2.7

Sheet A-107, Reflected Ceiling Plan

1. Sheet A-107 revised with additional view: View 3 Frist Reflected Ceiling Plan – Vertical Acoustical Wall Blades. Plan to show total count and location of acoustical wall blades.

2.8

Sheet A-301, Wall Sections

1. Drawing 9 revised to show handrail and concrete structural annotations.

- 2.9 Sheet A-400, Interior Elevations Multi-Purpose Room**
- 1. Drawings 1-4 revised to provide clarification of bulk heads and ceiling clouds.**
- 3.0 Sheet A-401, Toilet Room Plans and Elevations**
- 1. Drawings 1-7 revised tags of toilet accessories to toilet accessory specification.**
 - 2. Drawings 1-7 revised keynotes to show poured resinous flooring finish.**
 - 3. Drawing 1 revised to show middle sink in 104 Women, baby changing station and electric hand dryer, 106 men baby changing station and electric hand dryer.**
 - 4. Drawing 1 revised to show 18" urinal screen.**
 - 5. Sheet revised to show Toilet Accessory Schedule**
- 3.1 Sheet A-600, Schedules & Partition Types:**
- 1. Revised Door 112 width to 3'-0"**
- 3.2 Sheet ED-101:**
- 1. Revised 104 Women, 106 Men.**
- 3.3 Sheet E-101:**
- 1. Revised 104 Women, 106 Men.**
- 3.4 Sheet E-102:**
- 1. Revised 104 Women, 106 Men.**
- 3.5 Sheet E-201:**
- 1. Revised schedules.**

C. GENERAL ITEMS

Acoustical Blade Information

a. 7241 Vertical Panel Wavelength Convex (10"x46"x2")

D. QUESTIONS AND ANSWERS

1) The unit price for "Exterior Masonry Repointing" is bid by the lineal foot. Please clarify how the lineal foot is measured. For example, If a block is 16" wide X 8" high and the mortar joint is repointed on all four sides of the block will the measurement for payment purposes be 16" plus 8" plus 16" plus 8"?

Answer: Yes, to account for interior where exposed on two sides of CMU.

2) Are there plans that show the approx. quantity of replacement sidewalk and the area where the potential replacement sidewalk is. The cost can vary quite a bit based on how small or great of a quantity of sidewalk is to be replaced and based on how accessible the sidewalk is for equipment, dump trucks and concrete mixers.

Answer: No, there are no plans that show replacement sidewalk as this is strictly an interior renovation of the existing building with a very minor main entrance vestibule addition.

3) In Spec. Section 01 23 00 - "Alternates", para. 3.1.B describes the work that is to be included as part of the "TPO Roof Replacement" work. The description is silent when it comes to the replacement of the four skylights that are built into the roof and the replacement of the domes on the roof drains. Are the skylights and the domes on the roof drains part of the base bid or are they part of the Alternate No. 2? Bear in mind that if the skylights are to be replaced as part of the base bid then replacing them will require a certain amount of re-roofing work to be done.

Answer: The domes and the skylights are a part of the base bid.

4) Sheet A-101 shows Storage Room #404 and Storage Room #405, yet these rooms are not included on Sheet A-104's Room Finish Schedule. The Finish Plan on sheet A-104 D does show VCT flooring to be installed in Rooms #404 and #405. Can you confirm that the existing flooring is to be replaced with new VCT and that the ceiling finishes and wall paint is to be existing to remain for these two rooms?

Answer: Storage Rooms 404 and 405 have been added to the finish schedule. These rooms are to receive new VCT flooring. Confirmed: ceiling finish and wall paint is existing to remain for these two rooms.

5) Sheet A-104 lists Storage Room #110 on the Room Finish Schedule; yet, no Room #110 is shown on the Drawings. Is Room #110 the unlabeled room located above Room #109 and between Rooms #108 and #111A, or is this room simply an extension of Room #108? If this location is in-fact Room #110, then can the room's finishes be clarified as the drawings would contradict the Room Finish Schedule?

Answer: Existing Room #110 is a storage room that will now be an extension of Room #108 in the proposed plan. The floor plan has been updated to reflect this numbering. This room extension will receive the same flooring, paint, and ceiling treatment as room #108.

6) Please Confirm that there is no Exec. Office Room 102A, as it appears on the Room Finish Schedule but is not located on the drawing.

Answer: Confirmed: there is no Exec. Office Room 102A. The drawings and finish schedule have been updated.

7) There are several discrepancies between the Room Finish Schedule and the drawing's plans that need to be clarified. The Vestibule finish schedules states VCT floor finish and ACT-1 ceiling finish while 1/A-104 show walk-off mat flooring and 1/A-107 shows both gypsum board ceiling and ACT. The Finish schedule says that the Vestibule walls are ETR, yet the proposed new CMU should likely have a painted finish and the existing exterior walls to be butted and becoming interior walls will likewise require new paint. For both rooms #102A Executive Toilet and 103 ADA Restroom, the finish schedules states ACT-1 ceiling finish, but 1/A-107 shows gypsum board ceiling. Please clarify the desired finish for each of these discrepancies.

Answer: Vestibule floor to be walk off matt, Vestibule ceiling to be 2x2 ACT, Vestibule interior walls of new CMU to be painted. Room #102A ceiling to be GWB, Room #103 ADA Restroom to be GWB

8) The interior elevation for Multi-Purpose Room 101 shown on Sheet A-400 has a note on "Interior Elevation A" which shows "2X4 (24" X 48") LAY-IN ACOUSTICAL TILE CEILING" above the cloud ceiling. First, is the contractor expected to install ACT-1 ceiling grid and tile throughout the entire Multi-Purpose Room 101 (including over the proposed cloud ceiling) and have cloud ceiling ACT-2 grid and tile installed below? Second, the 2x4 ACT contradicts the 2x2 ACT shown on sheet A-107. Can you confirm whether 2x2 or 2x4 ACT is scheduled for Room 101?

Answer: This note is pointing to the ACT in in front of the ceiling cloud. There is not to be any ceiling tile above the ceiling clouds. These clouds will be suspended at different heights with a bulkhead above. Ceiling tile on the bottom of the clouds to be installed by the GC. The ceiling between the clouds will receive 2x2 ACT with new grid and tiles; this new grid, where adjacent to new ceiling clouds, will terminate at the new bulkheads.

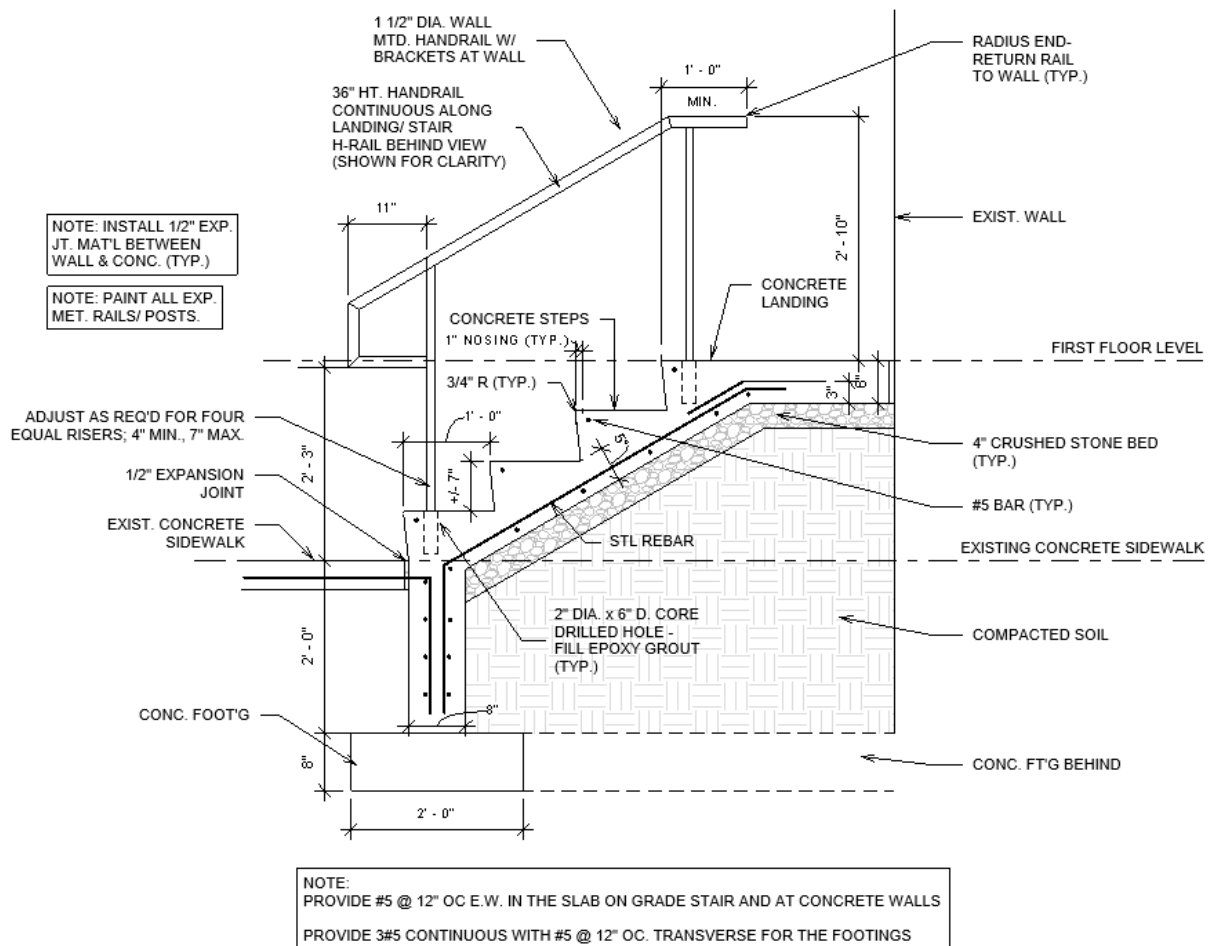
9) Can additional details be given for how the contractor is expected to install the cloud ceiling? Is this cloud ceiling proposed to appear open on all sides and hanging from a second grid ceiling above or is the cloud ceiling to have drywall and metal stud bulkheads installed vertically up to the structure above on the three sides that do not meet the perimeter wall, whereas the adjacent grid ceiling above would terminate at the new bulkhead?

Answer: Ceiling cloud is to have drywall and metal stud bulkheads installed vertically up to the structure above on the three sides that do not meet the perimeter wall. Yes, the adjacent 2x2 ACT grid will terminate at the new bulkhead.

10) Due to the curvature of the room shown on Sheet A-400, it is difficult to get an accurate count of the acoustic blades. Can the number of acoustic blades to be installed throughout Multi-Purpose Room 101 be provided?

Answer: Please see the attached documents for vertical acoustical wall blade information. Sheet A-107, View 3 has been updated to show a count of 83 blades. (Reference: 7241 Vertical Panel Wavelength Convex (10"x46"x2") in the attached document titled: Acoustical Blades.)

11) Can a detail be given for the handrail to be provided at the stairs outside of Door 111A?



12) The toilet accessories specification does not match the details for toilet accessories provided on Sheet A-401. Please confirm that the specifications supersede the drawings.

Answer: Toilet Accessories specification indeed supersedes the drawings. Sheet A-401 has been updated.

13) Can a basis of design model be provided in the specifications for the paper towel dispensers? Please note, if paper towel dispensers are to be provided, trash receptacles will need to be provided accordingly.

Answer: Electric hand dryers will be installed in lieu of paper towel dispensers.

14) Xlerator XL-SB-ECO electric hand dryers are specified for the Men's and Women's Restrooms #104 and #106; yet, no power is shown to be provided for hand dryers and no location for these hand dryers are specified on the drawings. Can the electrical drawings be revised to include the necessary power to these accessories?

Answer: Yes, electrical plans will be updated; Will show on drawings as part of addendum.

15) The toilet accessories specification state that grab bars are to be installed in rooms #104 and #106, but none are shown on the drawings. Can the installation of grab bars in these rooms be confirmed as well as the count on each size of grab bar?

Answer: The following restrooms are to receive grab bars: New ADA Restroom: (1) 36", (1) 42", (1) 18"-vertical. The spec has been revised to remove 104 and 106.

16). The specifications show that a baby changing station is to be provided in rooms #104 and #105, but the drawings indicate a baby changing station to be provided in Room #103 only, please confirm which is accurate.

Answer: The drawings have been updated to reflect the Specification. Baby changing stations are to be provided in rooms 103, 104 & 106.

17). Exec. Toilet Room #102A does not show to have any sanitary napkin dispensers or toilet seat cover dispensers being provided, can you please confirm that this is accurate?

Answer: The drawings and the specification have been updated to show that sanitary napkin dispenser and toilet seat cover dispenser in room 102A.

18). Three new walls are shown to be constructed to create the new ADA Restroom 103. Sheet A-401 shows these walls to be partition type B1, B2 and C1 which are all metal stud wall construction. On the structural drawings, Sheet S-201 is silent on one of the walls and calls out two of these walls as being "new non-bearing masonry" with a new thickened slab per detail G/S-301. Please verify which wall types are to be provided for the new ADA Restroom 103 walls.

Answer: The 3 new walls shown on A-401 for new ADA Restroom 103 are to be partition types B1, B2 and C1 as drawn on A-600.

19). Details E, G and H on Sheet S-303 appear to be provided as typical details, yet the work to be performed in these details is nowhere else indicated on the drawings nor are quantities given. Are these details provided for representation only or should the contractor expect to do some amount of Joist reinforcing at concentrated loads or rusted joist ends and roof infilling. As no specific location for this work was provided, if the contractor encounters a situation where the work needs to be performed, then how will this work be paid?

Answer: Details E and G, these can be quantified and included in the contractor's bid based on new units or existing units to be replaced that are going to be hung or supported from the joists. However detail H, reinforcing of steel joists due to rusted bearing support, will have to be quantified after the ceiling is exposed and after the visit of the EOR to observe its condition. We have previously asked for the ceiling to be fully exposed so we can inspect the joist condition but Restl was told that this will be done at the start of the project, after the contractor is selected. Thus, a unit cost for joist reinforcing is being requested for this item, which could be included in an addendum.

20). As part of the alternate roofing work, new metal coping over the existing precast caps are shown to be provided at the parapet walls per detail 1/A-501. Does the owner expect the metal coping to be many short segments straight metal coping being used to create the curve or longer segments of custom curved metal coping?

Answer: The metal coping is to be short segments of straight metal. Specifications 07 62 00 clearly define the coping characteristics required and the dwg coping detail identifies the fascia size needed.

21) On the plans Dwg. E-001, the Electrical General Note #11 states "Mount all wiring devices recessed in CMU block wall or drywall partitions as applicable....." and the Electrical General Note #13 continues by stating ".....conductors in EMT conduit run vertically in the CMU block wall or drywall partition". Most of the walls in the building are existing block walls to remain. There could be some situations where there is an existing electrical device to be removed that is already recessed in the CMU block with existing EMT conduit run vertically in the CMU block wall. In those situations, if a new electrical device is shown to be installed, those existing concealed EMT conduits and existing recessed boxes could sometimes be re-used to meet the intent of concealing conduits and devices within the CMU block walls.

Answer: Agreed.

-Reuse existing conduits and recessed boxes in existing walls where existing receptacles are replaced.

-Where there are new/ modified walls (e.g. Multi-purpose Rooms), provide new recessed boxes and concealed EMT conduits in walls.

-Where walls are existing to remain and new receptacles are to be provided, provide surface mounted conduit.

There could be many other situations where new electrical devices are shown to be installed on existing CMU block walls that are to remain. In those situations, it would involve a lot of expensive masonry cutting & patching to conceal the EMT conduits and device boxes within the CMU block walls. In addition to the added cost of doing this, the resulting exposed masonry walls would all show some evidence of the patching work and the resulting masonry would be less structurally sound due to the cutting.

Please see previous response.

Please re-consider and clarify that if there are no existing concealed and empty EMT conduit and boxes that can be re-used, then if new electrical devices are shown to be installed on existing walls that the new EMT conduit and mounting boxes can be surface mounted on those existing walls.

Please see previous response.

22) Is the design intent that the HSS structural steel post and roof framing members for the new vestibule be hot dip galvanized or prime painted?

Answer: The design intent is that the HSS structural steel post and roof framing members for the new vestibule to be hot dip galvanized.

23) On the plans Dwg. S-202, there are three HSS 8 X 4 X 5/16" framing members that are shown running across the new vestibule. The way they are drawn indicates that they have a slight curvature, but they will be fully concealed. There will also be a bent plate above one of them as a structural perimeter edge at the roof line, which will also be fully concealed. Is the design intent that these steel members be curved or can they be straight?

Answer: Yes, the design intent is that these steel members are to be curved. These are to be pre-fab curved members however, contractor can provide and install two, straight, segmented members with a weld join.

24) Please indicate if the vestibule storefront work is to be curved or straight, specifically things like the storefront framing, glass, box gutter, etc. It seems obvious that the pair of entry doors can't be curved. Is it acceptable that the storefront be built from a straight segment across the pair of doors and two other straight segments of storefront framing and glass that create the "sidelites" to the door frame if each of these straight segments are angled to one another to "simulate" the building's curvature.

Answer: Vestibule storefront work is to be straight segments that are aligned to one another to simulate the building's curvature.

25) The Door Schedule provided on sheet A-600 shows that door 112 has a width of 6'8" which is much larger than the existing door. Can this be confirmed?

Answer: Door 112 is 3'-0" Wood door with 1'-2" clear side lite, HM frame

26) Can the intent of these room finishes be clarified as the specifications and drawings have the following discrepancies listed below?

26.a) Specification section 096816 shows carpet to be installed in Room 100 – Vestibule, but the room finish schedule located on sheet A-104 shows VCT at this location.

Answer: The room finish schedule has been updated to reflect the specification.

26.b) Specification section 096723 shows resinous epoxy flooring to be installed in Rooms 102A-Exec. Toilet 112-Kitchen and 103 ADA Restroom; whereas the room finish schedule located on sheet A-104 also shows resinous flooring in the men and women bathrooms.

Answer: The room finish schedule is correct and the specification has been corrected.

26.c) Specification section 093100 shows Ceramic wall tile to be installed in Rooms 102A-Exec and 103 ADA Restroom, but the room finish schedule located on sheet A-104 shows ceramic wall tile in room 103 ADA Restroom only.

Answer: The specification has been corrected. Ceramic wall tile is to be installed in 103 ADA Restroom only.

26.d) Specification section 096513 shows VCT-1 to be installed in Rooms 404 and 405, but no finish is shown to be provided at these locations on the drawings.

Answer: Rooms 404 and 405 have been updated on the room finish schedule to show VCT-1 to be installed.

27) Who will be responsible to provide and pay for the necessary building permit for the project, the Dept. of Recreation & Parks, or the contractor? If the contractor is responsible for those costs, do you know how much the permit costs will be or is there an approved plans number that we could refer to?

Answer: Baltimore City Department of Recreation and Parks (BCRP) will pay the fees for the building permit for the project.

28) In Spec. Section 01 22 00 - "Unit Prices", para. 3.1 describes Unit Price No. 1 for "Replacement of Concrete Sidewalk" and Unit Price No. 2 for "Exterior Masonry Repointing". The bid forms don't have a place for bidders to provide these unit prices.

Answer: New Schedule of Prices Tables been added in the addendum.

29) In Spec. Section 01 23 00 - "Alternates", para. 3.1 describes Alternate No. 1 for the "Vestibule 100" work and Alternate No. 2 for the "TPO Roof Replacement" work. The bid forms don't have a place for bidders to provide these alternate prices.

Answer: New Schedule of Alternates have been added in the addendum.

30) Please clarify the method that the Dept. of Recreation & Parks will use for determining the lowest bidder given that there is a base bid plus two add alternates. Will the award be to the lowest bidder on the base bid only? Will the award be to the lowest bidder on the base bid plus alternates? Will the alternates only be selected in numerical order or will the Dept. of Recreation & Parks pick them in any order?

Answer: The project will be awarded to the bidder with the lowest bid on the entire amount (Base bid+ Alternates)

31) Will the MBE/WBE percentage goals be based on the dollar value of the just the base bid amount or will the goals be based on the value of the base bid plus the add alternates?

Answer: The MBE/WBE percentage will be based on the total bid amount.

32) Will the recreation center be closed to the community while the renovation takes.

Answer: Yes.

32) The recreation center is currently full of all sorts of "personal property" that are not attached to the building. These include such things as desks, chairs, exercise equipment, arts & crafts supplies, recreation supplies stored on shelves & closets, etc. Prior to the start of work will the Dept. of Recreation & Parks be responsible for the removal of all those items of "personal property" from the recreation center or will it be the contractor's responsibility to have to move all of those things repeatedly and cover/protect them all during construction?

Answer: Baltimore City Department of Recreation and Parks (BCRP) will remove all "personal property" prior to construction.

33) Beginning on page 7 of the specification book, Special Conditions SC-1 "Minimum Wage Rates - City of Baltimore" has a schedule of wages called Classification No. 3 that look like they are incorrect because they are for a site work contract. In addition, the schedule of wages looks incorrect because they are awfully low. Please confirm that this is the correct schedule of wages to be used for this project.

Answer: This has been corrected to Classification No. 1 in the addendum.

DIVISION 02 EXISTING CONDITIONS

02 41 19	SELECTIVE DEMOLITION.....	113-118
----------	---------------------------	---------

DIVISION 03 – CONCRETE

03 30 00	CAST IN PLACE CONCRETE.....	119-121
----------	-----------------------------	---------

DIVISION 04 MASONRY

04 20 00	UNIT MASONRY.....	122-132
----------	-------------------	---------

DIVISION 05 METAL

05 12 00	STRUCTURAL STEEL FRAMING.....	133-140
05 40 00	COLD-FORMED METAL FRAMING.....	141-147
	(REMAINING SPECS ON STRUCTURAL DRAWINGS)	

DIVISION 06 WOOD, PLASTICS, AND COMPONENTS

06 10 00	ROUGH CARPENTRY.....	148-149
06 16 00	SHEATHING.....	150-151
06 40 23	INTERIOR ARCHITECTURAL WOODWORK.....	152-159

DIVISION 07 THERMAL AND MOISTURE PROTECTION

07 21 00	THERMAL INSULATION.....	160-163
07 27 26	FLUID-APPLIED MEMBRANE AIR BARRIERS.....	164-168
07 54 23	THERMOPLASTIC POLYOLEFIN (TPO) ROOFING.....	169-173
07 62 00	SHEET METAL FLASHING AND TRIM.....	174-179
07 92 00	JOINT SEALANTS.....	180-188

DIVISION 08 OPENINGS

08 11 13	HOLLOW METAL DOORS AND FRAMES.....	189-196
08 14 16	FLUSH WOOD DOORS.....	197-201
08 43 13	ALUMINUM-FRAMED STOREFRONT WINDOWS.....	202-207
08 60 00	SKYLIGHTS.....	208-211
08 66 20	NARROWLINE SECURITY SCREEN.....	211A-211B
08 71 00	DOOR HARDWARE.....	212-231
08 80 00	GLAZING.....	232-239
08 83 00	MIRRORS.....	240-242

DIVISION 09 FINISHES

09 25 00	GYPSUM BOARD ASSEMBLIES.....	243-251
09 31 00	CERAMIC TILE.....	252-261
09 50 00	ACOUSTICAL WALL PANELS.....	262-265
09 51 23	ACOUSTICAL PANEL CEILINGS.....	266-272
09 65 13	RESILIENT WALL BASE AND ACCESSORIES.....	273-282
09 65 66	RESILIENT ATHLETIC FLOORING.....	283-288
09 67 23	RESINOUS FLOORING.....	289-295
09 68 12	CARPET.....	296-300
09 91 00	PAINTING.....	301-311

26 09 23	LIGHTING CONTROL DEVICES.....	539-547
26 27 26	WIRING DEVICES.....	548-554
26 28 16	ENCLOSED SWITCHES AND CIRCUIT BREAKERS.....	555-557
26 51 19	LED INTERIOR LIGHTING.....	558-560
26 51 20	LED EXTERIOR LIGHTING.....	561-566
DIVISION 31 – EARTHWORK		Not Used
DIVISION 32 – EXTERIOR IMPROVEMENTS.....		Not Used
DIVISION 33 – UTILITIES		Not Used
A. EXTRA WORK CERTIFICATION.....		567
B. SUBCONTRACTOR’S ACKNOWLEDGEMENT OF PROGRESS PAYMENTS.....		568
III.BID OR PROPOSAL.....		569R-572
A. BID/PROPOSAL AFFIDAVIT		573-577
B. EXHIBIT 1.....		578
C. MINORITY AND WOMEN’S BUSINESS OPPORTUNITY REQUIREMENTS AND FORMS		579-589
D. THE BALTIMORE APPRENTICE TRAINEE PROGRAM.....		590R-600
E. BALTIMORE CITY’S YOUTHWORKS.....		601
F. BALTIMORE CITY EMPLOY BALTIMORE		602-608
G. BID BOND.....		609-610
IV. AGREEMENT.....		611-612
V. BONDS		
A. PERFORMANCE BOND.....		613-615
B. PAYMENT BOND		616-618

A. INSTRUCTIONS TO BIDDERS**00 21 13.01 PURCHASE OF THE STANDARD SPECIFICATIONS AND BOOK OF STANDARDS**

The Standard Specifications, at a charge of \$35.00 per copy and the Book of Standards at a charge of \$50.00 per copy, may be obtained at:

Department of Transportation, Right of Way Division
401 East Fayette Street, 1st Floor
Baltimore, Maryland 21202

between the hours of 9:00 A.M. to 4:00 P.M., except Saturday, Sunday and holidays. Check shall be made payable to the Director of Finance.

SCOPE OF WORK

- A. The "Work" to be completed under this contract shall consist of the Renovation of the existing City Park on Baltimore City Department of Recreation and Parks properties known as:
 - 1. Mary E. Rodman Recreation Center Renovation
3600 W. Mulberry St
Baltimore, Maryland 21229
- B. The Work defined by the Construction Drawings and these Specifications shall include, but not be limited to:
 - 1. Interior Renovations.
 - 2. Roof finish and skylight replacement.
 - 3. Interior mechanical, plumbing, and electrical renovations.
 - 4. Add Alt # 1: New Exterior Vestibule and Doors.
 - 5. Add Alt. #2: TPO Roof replacement.
 - 6. Add Alt. # 3: Exterior Window replacement including glazing, framing and security grills.

00 21 13.02 LOCATION(S) OF WORK

Work under this Contract will be restricted to the location(s) listed herein. There shall be no deviation from the location either by additions, subtractions or alterations by the Contractor or his representative without written permission of the Engineer.

00 21 13.04 CONTRACT BOOK

The successful Bidder, upon execution of the Agreement and Bonds, will receive up to five (5) copies of the Contract Book – no charge.

BALTIMORE APPRENTICESHIP TRAINEE FORMS (BATP)

Also included in this contract is a Baltimore Apprenticeship Trainee Program package (BATP documents). The duplicate BATP forms must be completed and submitted **with your bid proposal**. Completed BATP forms are only required for bids of \$1,000,000.00 or more. Failure to submit the information at the time requested will be cause to have your bid **rejected**.

FISCAL YEAR 2021 PREVAILING WAGE RATES

CLASSIFICATION NO. 1

The following minimum hourly wage rates shall apply to all contracts in excess of One Hundred Thousand Dollars (\$100,000) in connection with new building construction, major remodeling and rehabilitation of buildings and for construction, reconstruction, erection, conversion installation, alteration, renovation, razing, demolition, moving or removing on any airport, pier wharf, sewer, drain, main, conduit, machinery or mechanical, electrical or other equipment or any other operation, or work to be done or performed in, on, upon or in connection with any building, bridge over water, tunnel, tower, stack, filtration plant, waste water or sewage treatment works, pumping stations, and other such structures.

JOURNEYMEN	HOURLY RATE	FRINGE BENEFITS	TOTAL
Asbestos Workers (Insulation Mechanics)	\$36.53	\$16.00	\$52.53
Boilermakers	\$17.62	\$6.96	\$24.58
Bricklayers	\$33.00	\$12.34	\$45.34
Carpenters/Resilient & Soft Floor Layers	\$26.66	\$15.55	\$42.21
- Millwright	\$33.06	\$17.65	\$50.71
- Piledriver	\$31.13	\$15.65	\$46.78
Cement Mason/Plasterers	\$28.45	\$11.47	\$39.32
Electricians	\$39.25	\$19.03	\$58.25
Elevator Construction Mechanic	\$48.42	\$40.18	\$88.60
Firestop Mechanic	\$23.33	\$7.95	\$31.28
Glaziers	\$30.77	\$22.96	\$53.73
Ironworkers			
- Ornamental	\$30.77	\$22.96	\$53.73
- Structural	\$30.77	\$22.96	\$53.73
- Reinforcing Rodmen	\$30.77	\$22.96	\$53.73
- Fence Erectors	\$28.70	\$20.66	\$49.36

APPROVED BY BOARD OF ESTIMATES



Clerk to the Board of Estimates

JAN 13 2021

FISCAL YEAR 2021 PREVAILING WAGE RATES

JOURNEYMEN	HOURLY RATE	FRINGE BENEFITS	TOTAL
Laborers			
- General Laborers: Flaggers, Tool and Material Handlers (Except Tenders), Clean-Up, Janitors, Truck Checkers, Dumpmen, Spotter, Landscape Laborer, Mulcher, Watchmen (Including Fire Watchmen)	\$18.25	\$6.29	\$24.54
- Construction Laborers: All Laborers not otherwise classified	\$19.10	\$6.29	\$25.39
- Semi-Skilled Laborers: Potmen, Power or Air Tool Operators, Pipelayers, Drillers Concrete Laborers, Signalmen, Small Machine Operators, Laser Beam Operators, Scaffold Builders, Caisson Laborer, Jack Hammer Operator (80 lbs. and over)	\$19.41	\$6.29	\$25.70
Painters			
- Brush and Trim	\$25.06	\$9.86	\$34.92
- Spackling, Taping, Wall Covering	\$25.06	\$9.86	\$34.92
- Spray, Structural Steel, Steam Cleaning, Sandblasting			
Plumbers/Steamfitters/Pipefitter	\$40.97	\$21.24	\$62.21
Roofers			
- Slate and Tile	\$26.44	\$12.24	\$38.68
- Wood Block	\$26.44	\$12.24	\$38.68
- Composition - Waterproof	\$26.44	\$12.24	\$38.68

APPROVED BY BOARD OF ESTIMATES

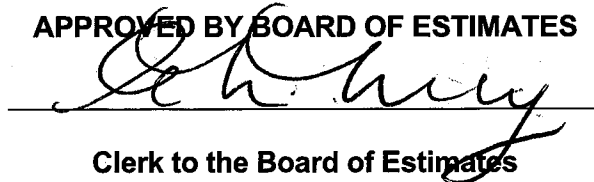
Clerk to the Board of Estimate

JAN 13 2021

FISCAL YEAR 2021 PREVAILING WAGE RATES

JOURNEYMEN	HOURLY RATE	FRINGE BENEFITS	TOTAL
Sheet Metal Worker (Inc. Air Balance, Metal Roofing)	\$40.77	\$21.38	\$62.15
Sprinkler Fitter	\$34.40	\$19.14	\$53.54
Stonemason	\$38.81	\$18.66	\$57.10
Tile, Terrazzo, Marble Workers	\$29.10	\$12.27	\$41.37
Tile, Terrazzo, Marble Finisher	\$24.10	\$11.24	\$35.34
<u>POWER EQUIPMENT OPERATORS</u>			
<u>GROUP I:</u> Certified Crane Operators (CCO)	\$35.70	\$15.90	\$51.60
<u>GROUP II:</u> Backfiller, backhoe, batching plants, boat captain, cableway, loader hoe, (with a front end bucket over 1 ¼ yds.), concrete mixing plant, concrete paver, derrick boat, double concrete pump, dragline, Eimco type overhead loader, elevating grader, scraper or pan type excavator (25 yds. and over), front end loader (1 ¾ yds. and over), gradall, grader, hoist (2 active drums or more), multiple conveyor, pile driving machine, power shovel, repair mechanic, shield, standard gauge locomotive, trenching machine, tunnel mucking machine, twin engine scraper, welder, whirley rig.	\$31.03	\$13.05	\$44.08

APPROVED BY BOARD OF ESTIMATES



Clerk to the Board of Estimates

JAN 13 2021

FISCAL YEAR 2021 PREVAILING WAGE RATES

JOURNEYMEN	HOURLY RATE	FRINGE BENEFITS	TOTAL
<u>POWER EQUIPMENT OPERATORS</u>			
<u>GROUP III:</u> Asphalt spreader bulldozer, bull float, loader, hoe, (with a front end bucket 1 ¼ yds. and under), concrete mixer (with skip), concrete pump, concrete spreader, scraper or pan type excavator (under 25 yds.) finishing machine, front end tractor loader (under 1 ¾ yds.), hi-lift fork lift, longitudinal float, narrow gauge locomotive, one drum hoist, power roller, screeding machine, snooper/vac truck, stone crusher, stone spreader, sub-grader tractor with attachments (2 or more provided both attachments are being used).	\$28.28	\$13.17	\$41.45
<u>GROUP IV:</u> Crawler or rubber tire tractor no attachments), compressors, elevator operator, firemen, fuel truck, grease truck, grout pump, light plant, mighty midget with compressor, single conveyor, space heaters, welding machines, welldriller, wellpoint system, deck hands, oilers (all types).	\$24.65	\$13.17	\$37.82

APPROVED BY BOARD OF ESTIMATES



Clerk to the Board of Estimates

JAN 13 2021

FISCAL YEAR 2021 PREVAILING WAGE RATES

JOURNEYMEN	HOURLY RATE	FRINGE BENEFITS	TOTAL
Truck Driver			
- Goose Neck Drop Frame	\$15.82	\$3.75	\$19.57
- Trailer Driver	\$15.50	\$3.75	\$19.25
- Flat Bed and Pickup	\$13.89	\$3.75	\$17.64
- Dump Truck Driver (Site Only) Welder Receives Rate For Craft Involved	\$12.85	\$4.60	\$17.45

APPROVED BY BOARD OF ESTIMATES



Clerk to the Board of Estimates

JAN 13 2021

FISCAL YEAR 2021 PREVAILING WAGE RATES

APPRENTICESHIP RATES
PERCENTAGE OF JOURNEYMAN'S HOURLY RATE
PLUS, FULL JOURNEYMAN'S FRINGE BENEFITS (UNLESS PARTIAL FRINGE BENEFITS
ARE APPROVED BY THE MARYLAND APPRENTICESHIP AND TRAINING COUNCIL)

<u>ASBESTOS WORKERS</u>	
First year	45
Second year	55
Third year	65
Fourth year	75
Fifth year	85

<u>BOILERMAKERS</u>	
First 6 months	50
Second 6 months	60
Third 6 months	65
Fourth 6 months	70
Fifth 6 months	75
Sixth 6 months	80
Seventh 6 months	85
Ninth 6 months	90

<u>BRICKLAYERS & STONE MASONS</u>	
First 6 months	50
Second 6 months	55
Third 6 months	60
Fourth 6 months	70
Fifth 6 months	80
Sixth 6 months	90

APPROVED BY BOARD OF ESTIMATES



JAN 13 2021

FISCAL YEAR 2021 PREVAILING WAGE RATES

Clerk to the Board of Estimates

DRAFT

APPRENTICESHIP RATES
PERCENTAGE OF JOURNEYMAN'S HOURLY RATE
PLUS, FULL JOURNEYMAN'S FRINGE BENEFITS (UNLESS PARTIAL FRINGE BENEFITS
ARE APPROVED BY THE MARYLAND APPRENTICESHIP AND TRAINING COUNCIL)

<u>CARPENTERS</u>	
First year	60
Second year	70
Third year	80
Fourth year	90

<u>CEMENT FINISHERS</u>	
First 500 hours	50
Second 500 hours	55
Third 500 hours	60
Fourth 500 hours	65
Fifth 500 hours	70
Sixth 500 hours	75
Seventh 500 hours	80
Eighth 500 hours	90

<u>ELECTRICIANS</u>	
First 6 months	40
Second 6 months	40
Second year	55
Third year	65
Fourth year	70
Fifth year	75

APPROVED BY BOARD OF ESTIMATES


 Clerk to the Board of Estimate

JAN 13 2021

FISCAL YEAR 2021 PREVAILING WAGE RATES

APPRENTICESHIP RATES
PERCENTAGE OF JOURNEYMAN'S HOURLY RATE
PLUS FULL JOURNEYMAN'S FRINGE BENEFITS (UNLESS PARTIAL FRINGE BENEFITS
ARE APPROVED BY THE MARYLAND APPRENTICESHIP AND TRAINING COUNCIL)

<u>IRONWORKERS</u>	
First 1,000 hours	60
Second 1,000 hours	65
Third 1,000 hours	70
Fourth 1,000 hours	75
Fifth 1,000 hours	80
Sixth 1,000 hours	85
Seventh 1,000 hours	90
Eighth 1,000 hours	95

<u>MILLWRIGHTS</u>	
First year	60
Second year	70
Third year	80
Fourth year	90

<u>PAINTERS</u>	
First 1,000 hours	55
Second 1,000 hours	70
Third 1,000 hours	85

APPROVED BY BOARD OF ESTIMATES


 Clerk to the Board of Estimate

JAN 13 2021

FISCAL YEAR 2021 PREVAILING WAGE RATES

APPRENTICESHIP RATES
PERCENTAGE OF JOURNEYMAN'S HOURLY RATE
PLUS FULL JOURNEYMAN'S FRINGE BENEFITS (UNLESS PARTIAL FRINGE BENEFITS
ARE APPROVED BY THE MARYLAND APPRENTICESHIP AND TRAINING COUNCIL)

<u>PLASTERERS</u>	
First 1,000 hours	50
Second 1,000 hours	55
Third 1,000 hours	60
Fourth 1,000 hours	65
Fifth 1,000 hours	70
Sixth 1,000 hours	75
Seventh 1,000 hours	80
Eighth 1,000 hours	85

<u>PLUMBERS/STEAMFITTERS/ PIPEFITTERS</u>	
First year	40
Second year	50
Third year	60
Fourth year	70
Fifth year	80

<u>POWER EQUIPMENT OPERATORS</u>	
First period	55
Second period	60
Third period	65
Fourth period	70
Fifth period	75
Sixth period	80

APPROVED BY BOARD OF ESTIMATES


Clerk to the Board of Estimates

JAN 13 2021

FISCAL YEAR 2021 PREVAILING WAGE RATES

APPRENTICESHIP RATES
PERCENTAGE OF JOURNEYMAN'S HOURLY RATE
PLUS FULL JOURNEYMAN'S FRINGE BENEFITS (UNLESS PARTIAL FRINGE BENEFITS
ARE APPROVED BY THE MARYLAND APPRENTICESHIP AND TRAINING COUNCIL)

<u>ROOFERS</u>	
First year	55
Second year	65
Third year	75

<u>SHEET METAL WORKERS</u>	
First 6 months	40
Second 6 months	45
Third 6 months	50
Fourth 6 months	55
Fifth 6 months	60
Sixth 6 months	65
Seventh 6 months	70
Eighth 6 months	75
Ninth 6 months	80
Tenth 6 months	85

<u>SHEET METAL WORKERS</u>	
First 6 months	45
Second 6 months	50
Third 6 months	55
Fourth 6 months	60
Fifth 6 months	65
Sixth 6 months	70
Seventh 6 months	75
Eighth 6 months	80
Ninth 6 months	85
Tenth 6 months	90

APPROVED BY BOARD OF ESTIMATES


Clerk to the Board of Estimate

JAN 13 2021

FISCAL YEAR 2021 PREVAILING WAGE RATES

APPRENTICESHIP RATES
PERCENTAGE OF JOURNEYMAN'S HOURLY RATE
PLUS FULL JOURNEYMAN'S FRINGE BENEFITS (UNLESS PARTIAL FRINGE BENEFITS
ARE APPROVED BY THE MARYLAND APPRENTICESHIP AND TRAINING COUNCIL)

<u>LABORERS</u>	
First year	70
Second year	90

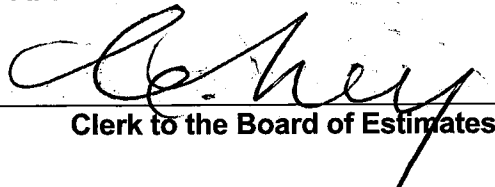
LABORER'S WORK

Laborers may not assist mechanics in the performance of mechanic's work, nor use tools peculiar to established trades. Their work should be confined to the following manual tasks:

1. Digging and filling holes and trenches.
2. Loading, unloading and stockpiling materials.
3. Cleaning and sweeping.
4. Driving stakes.
5. Placing concrete and asphalt (not finishing)
6. Stripping forms.
7. Ripping out material which is to be discarded, including asbestos.
8. Clearing and grubbing.

The above definition is to preclude inadvertent misclassification of laborers.

APPROVED BY BOARD OF ESTIMATES


 Clerk to the Board of Estimates

JAN 13 2021

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 ADD ALTERNATES AND UNIT PRICES

- A. Alternate 1: All work associated with Vestibule 100 (structural work, exterior storefront systems, MEP work, roofing, flooring, finishes, etc.). Replacement of Door 100-2 shall be in the base bid.
- B. Alternate 2: All work associated with the TPO roof replacement, including removing existing roofing and insulation down to the existing deck, and all new rigid insulation, TPO roofing, and flashing, and metal coping.
- C. Alternate 3: All work associated with the removal and replacement of all the exterior windows, including the glazing, framing and the security grills.

END OF SECTION 01 23 00

SECTION 08 43 13 - ALUMINUM-FRAMED STOREFRONT WINDOWS

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Exterior storefront framing.
 - 2. Exterior manual-swing entrance doors.
 - 3. Interior storefront framing.
 - 4. Exterior window framing.

1.2 ACTION SUBMITTALS

- A. Product Data: For each type of product.
- B. Shop Drawings: Include plans, elevations, sections, full-size details, and attachments to other work.
 - 1. Show connection to and continuity with adjacent thermal, weather, air, and vapor barriers.
- C. Delegated-Design Submittal: For aluminum-framed entrances, windows and storefronts indicated to comply with performance requirements and design criteria, including analysis data signed and sealed by the qualified professional engineer responsible for their preparation.

1.3 INFORMATIONAL SUBMITTALS

- A. Product test reports.
- B. Field quality-control reports.
- C. Sample warranties.

1.4 CLOSEOUT SUBMITTALS

- A. Maintenance data.

1.5 QUALITY ASSURANCE

- A. Installer Qualifications: An entity that employs installers and supervisors who are trained and approved by manufacturer.
- B. Testing Agency Qualifications: Qualified according to ASTM E 699 for testing indicated and accredited by IAS or ILAC Mutual Recognition Arrangement as complying with ISO/IEC 17025.

- C. Product Options: Information on Drawings and in Specifications establishes requirements for aesthetic effects and performance characteristics of assemblies. Aesthetic effects are indicated by dimensions, arrangements, alignment, and profiles of components and assemblies as they relate to sightlines, to one another, and to adjoining construction.
 - 1. Do not change intended aesthetic effects, as judged solely by Engineer, except with Engineer's approval. If changes are proposed, submit comprehensive explanatory data to Engineer for review.

1.6 WARRANTY

- A. Special Warranty: Manufacturer agrees to repair or replace components of aluminum-framed entrances and storefronts that do not comply with requirements or that fail in materials or workmanship within specified warranty period.
 - 1. Warranty Period: One (1) years from date of Substantial Completion.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

- A. Delegated Design: Engage a qualified professional engineer, as defined in Section 014000 "Quality Requirements," to design aluminum-framed entrances, aluminum windows and storefronts.
- B. General Performance: Comply with performance requirements specified, as determined by testing of aluminum-framed entrances and storefronts representing those indicated for this Project without failure due to defective manufacture, fabrication, installation, or other defects in construction.
 - 1. Aluminum-framed entrances and storefronts shall withstand movements of supporting structure including, but not limited to, story drift, twist, column shortening, long-term creep, and deflection from uniformly distributed and concentrated live loads.
 - 2. Failure also includes the following:
 - a. Glass breakage.
 - b. Noise or vibration created by wind and thermal and structural movements.
 - c. Loosening or weakening of fasteners, attachments, and other components.
 - d. Failure of operating units.
- C. Structural Loads:
 - 1. Wind Loads: 40 psf, Risk category: II, Exposure: B. Seismic and Blast Loads: In accordance with local code requirements
- D. Structural: Test according to ASTM E 330 as follows:
 - 1. When tested at positive and negative wind-load design pressures, assemblies do not evidence deflection exceeding specified limits.
 - 2. When tested at 150 percent of positive and negative wind-load design pressures, assemblies, including anchorage, do not evidence material failures, structural distress, or permanent deformation of main framing members exceeding 0.2 percent of span.
 - 3. Test Durations: As required by design wind velocity, but not less than 10 seconds.

- E. Air Infiltration: Test according to ASTM E 283 for infiltration as follows:
 - 1. Fixed Framing and Glass Area:
 - a. Maximum air leakage of 0.06 cfm/sq. ft. (0.30 L/s per sq. m) at a static-air-pressure differential of 6.24 lbf/sq. ft. (300 Pa).
- F. Water Penetration under Static Pressure: Test according to ASTM E 331 as follows:
 - 1. No evidence of water penetration through fixed glazing and framing areas when tested according to a minimum static-air-pressure differential of 20 percent of positive wind-load design pressure, but not less than 6.24 lbf/sq. ft. (300 Pa).
- G. Thermal Movements: Allow for thermal movements resulting from ambient and surface temperature changes:
 - 1. Temperature Change: 120 deg F (67 deg C), ambient; 180 deg F (100 deg C), material surfaces.

2.2 MANUFACTURERS

- A. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1. YKK AP America Inc., model 35D doors and YES 45 TU storefronts and YES 40 FS interior frame with ¼ inch glazing; basis
 - 2. Kawneer North America.
 - 3. Oldcastle Building Envelope.
 - 4. United States Aluminum.

2.3 FRAMING

- A. Framing Members: Manufacturer's extruded- or formed-aluminum framing members of thickness required and reinforced as required to support imposed loads.
 - 1. Construction: Thermally broken – exterior frame.
 - 2. Glazing System: Retained mechanically with gaskets on four sides.
 - 3. Glazing Plane: Front – exterior frame and center set – interior frames.
 - 4. Finish: High-performance organic finish.
 - 5. Fabrication Method: Field-fabricated stick system.
- B. Backer Plates: Manufacturer's standard, continuous backer plates for framing members, if not integral, where framing abuts adjacent construction.
- C. Brackets and Reinforcements: Manufacturer's standard high-strength aluminum with nonstaining, nonferrous shims for aligning system components.
- D. Materials:
 - 1. Aluminum: Alloy and temper recommended by manufacturer for type of use and finish indicated.
 - a. Sheet and Plate: ASTM B 209 (ASTM B 209M).
 - b. Extruded Bars, Rods, Profiles, and Tubes: ASTM B 221 (ASTM B 221M).
 - c. Extruded Structural Pipe and Tubes: ASTM B 429/B 429M.

SECTION 08 66 20 – NARROWLINE SECURITY SCREEN

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Fixed Steel Security Screen – Level 5 Heavy Vandalism

1.3 ACTION SUBMITTALS

- A. Manufacturer shall submit shop drawings, showing details of attachment to surround materials and elevations showing scope of the project.
- B. Samples of materials may be requested without cost to owner: frame sections, infill sections, fasteners, corner section, etc.

1.4 QUALITY ASSURANCE

- A. Installer Qualifications: An entity that employs installers and supervisors who are trained and approved by manufacturer.

1.5 WARRANTY

- A. The operation of the security screen shall be warranted for one (1) year against any proven defective material or parts, as called for in the specifications and approved shop drawings. This warranty does not cover abuse by others.

PART 2 PRODUCTS

2.1 MANUFACTURERS

- A. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1. Kane Architectural Innovations; model Fixed SNR5Z, basis of design
 - a. Kane Architectural Innovations, Erie, PA (800) 773-2439
 - 2. Or Approved Equal

2.2 MAIN FRAME

- A. The main frame rails shall be not less than 16-gauge 1" (25.4mm) x 1" (25.4mm) seamless welded galvanized steel tubing with high strength die cast metal corners which are pneumatically inserted into the frame ends with an interference fit.
- B. A removable face plate, extruded from 6063-T6 aluminum alloy, .062-inch thick, .212 lbs./ft., shall be attached to the sides of the main frame using tamper resistant screws.

2.3 FINISH

- A. The aluminum faceplates shall be thoroughly cleaned in a 5-step bonderizing process. An electrostatically applied thermoplastic, polyester powder coating (2.5 mil min. thickness) shall be applied and baked to a hard mar-resistant finish in one of Kane's standard colors. Coating shall meet or exceed AAMA 2603.
 - 1. Color: Gray
- B. The main and infill shall be thoroughly cleaned in a 5-step bonderizing process. An electrostatically applied black, thermoplastic, polyester powder coating (2.5 mil min. thickness) shall be applied and baked to a hard mar-resistant finish. Coating shall meet or exceed AAMA 2603.

2.4 INFILL

- A. A. Perforated Panel
 - 1. 16-gauge mill-galvannealed with 63% open area.

2.5 INFILL ATTACHMENT

- A. The perforated panel shall be attached to the main frame with hex-head Tek Screws.
- B. Wire cloth shall be hemmed 180 degrees and retained by Hex-head Tek Screws. (for 12 mesh .028 wire cloth only)
- C. Hex-head Tek screws shall penetrate the infill and main frame approximately 4" (101.6) on center.

PART 3 - EXECUTION

3.1 INSPECTION

- 1. Verify that openings fit allowable tolerances, are plumb, level, provide a solid anchoring surface and comply with approved shop drawings.

3.2 INSTALLATION

- A. Install in accordance with approved shop drawings and specifications.
- B. Plumb and align faces in a single plane and erect screens square and true, adequately anchored to structure.
- C. After completion of installation, screens shall be adjusted, in working order and cleaned.

END OF SECTION 08 66 20

2. For facial dimensions of tile, comply with requirements relating to tile sizes specified in Part 1 "Definitions" Article.
- B. ANSI Standards for Tile Installation Materials: Provide materials complying with ANSI standards referenced in "Setting and Grouting Materials" Article.
- C. Colors, Textures, and Patterns: Where manufacturer's standard products are indicated for tile, grout, and other products requiring selection of colors, surface textures, patterns, and other appearance characteristics, provide specific products or materials complying with the following requirements:
 1. As selected by Architect from manufacturer's full range.
- D. Factory Blending: For tile exhibiting color variations within ranges selected during Sample submittals, blend tile in factory and package so tile units taken from one package show same range in colors as those taken from other packages and match approved Samples.
- E. Mounting: For factory-mounted tile, provide back- or edge-mounted tile assemblies as standard with manufacturer, unless otherwise indicated.
- F. Factory-Applied Temporary Protective Coating: Where indicated under tile type, protect exposed surfaces of tile against adherence of mortar and grout by precoating with continuous film of petroleum paraffin wax, applied hot. Do not coat unexposed tile surfaces.

2.3 TILE PRODUCTS

- A. Available Manufacturers:
 1. Crossville, Inc.
 2. Daltile; Div. of Dal-Tile International Inc.
 3. Garden State Tile (Basis of Design)
 4. Royal Mosa
 5. Conestoga Tile
- B. **CT-1** Wall Tile
 1. Manufacturer: Garden State Tile
 2. Collection: Color Blox
 3. Color: Yellowbrick
 4. Size: 6"x12"
 5. Installation: Wall – see elevations.
 6. Location: 103 ADA Restroom

2.4 TILE BACKING PANELS

- A. Cementitious Backer Units: ANSI A118.9 or ASTM C 1325, Type A.

- F. 2nd Body Coat and Top Coat: Sikafloor 216 is a low odor, 100% solids, epoxy resin coating system primarily designed for high build coatings and decorative quartz and flake applications. Sikafloor 216 may be used as a primer and may be in clear or in selected color with the following properties:
 - 1. Pull-off Strength (ASTM D4541): > 400 psi (2.7 MPa) with 100% concrete failure.
 - 2. Shore D Hardness (ASTM D2240): 78 - 82 at 7 days.
 - 3. Solid Content: ~ 100% (by volume) / ~ 100% (by weight).
 - 4. VOC Content (ASTM D2369): ≤ 50 g/L.
 - 5. Compressive Strength (ASTM C579): 7,250 psi (50 N/mm²) at 28 days.
 - 6. Flexural Strength (ASTM C580): 2,900 psi (20 N/mm²) at 28 days.
- G. Broadcast Vinyl Flakes: Decorative Flakes.
- H. Cove base: 6" high Polyurethane mortar cove based.
- I. Top Coat: Sikafloor 511 is a two-component, solvent-free, high solids, low-viscosity, high strength, polyaspartic resin system in clear coat with the following properties:
 - 1. Pull-off Strength (ASTM D1583): > 400 psi (2.7 MPa) with 100% concrete failure.
 - 2. Shore D Hardness (ASTM D2240): 75.
 - 3. VOC Content (ASTM D2369): ≤ 50 g/L.
 - 4. Viscosity (approximately) of Components A + B: 850 cps.
 - 5. Tensile Strength (ASTM C307): 6,500 psi.
 - 6. Coefficient of Friction (ASTM D1894): 61T 0.8.
- J. RESINOUS EPOXY(RE-1)
 - a. Manufacturer: Sikafloor
 - b. Collection:
 - c. Style:
 - d. Color:
 - e. Installation: Floor with 6" Integral Base
 - f. Location: 102A Exe. Toilet, 103 ADA Rest Rm, 104 Women, 106 Men 112 New Community Kitchen

Part 3 - EXECUTION

3.1 EXAMINATION

- J. Examine surfaces to receive flooring system. Notify Architect/General Contractor/Owner/Owner's representative if surfaces are not acceptable. Do not begin surface preparation or application until unacceptable conditions have been corrected. Do not apply to substrate treatments for moisture, repair, or leveling not of the same Manufacturer.
- K. Surface must be clean, sound and dry. Remove dust, laitance, grease, curing compounds bond inhibiting impregnations, waxes and any other contaminants. All projections, rough spots, etc. should be dressed off to achieve a level surface prior to the application.
- L. Concrete substrate to have a minimum compressive strength of 3,500 psi (24 MPa) at 28 days and a minimum of 215 psi (1.5 MPa) in tension at time of application.
- M. Substrate moisture:
 - 1. Measure and confirm Substrate Moisture Content, Ambient Relative Humidity, Ambient and Surface Temperature and Dew Point.

5. Disposal Panel: 18-8, Type 304, 22 gauge (0.8mm) stainless steel with satin finish; hemmed bottom edge hemmed.
6. Disposal Panel Hinge: Spring-loaded, full-length stainless-steel piano-hinge; with an international graphic symbol identifying sanitary napkin disposal.
7. Waste Receptacle: Removable, leak-proof, rigid molded polyethylene
8. Capacity: 1.2 gallons (4.6 L).
9. Locations: Rooms 102A (1), 104 and 103 – (1) per stall.

2.4 TOILET SEAT COVER DISPENSERS (TSC)

- A. Toilet Seat Cover Dispensers:
1. Basis of Design: Bobrick Classic Series Model B-221
 2. Surface Mounted.
 3. Cabinet: All-welded, 18-8, Type 304, heavy gauge stainless steel. All-welded construction.
 4. Flange: Drawn and beveled, one-piece, seamless 18-8, Type 304, 22 gauge (0.8mm) stainless steel with satin finish.
 5. Door: 18-8, Type 304, 22 gauge (0.8mm) stainless steel with satin finish, beveled opening; equipped with tumbler lock keyed like other washroom accessories.
 6. Hinge: Full-length, stainless steel piano-hinge.
 7. Dispensing: Single- or half-fold paper toilet seat covers.
 8. Capacity: 500 paper toilet seat covers
 9. Location: 102A, 103, 104 and 106 – (1) per WC.

2.5 TOILET TISSUE DISPENSERS (TTD-1)

- A. Surface Mounted Jumbo-Roll Toilet Tissue Dispensers:
1. Basis of Design: Bobrick Classic Series Model B-2892
 2. Mounting Plate: 16 gauge stainless steel.
 3. Door: Type 430, 22 gauge stainless steel with satin finish; equipped with a lock keyed like other washroom accessories.
 4. Spindle: Fixed inner spindle, 20 gauge stainless steel
 5. Capacity: Accommodates one toilet tissue roll up to 10 inch diameter with a 1-5/8 inch diameter core.
 6. Location: Rooms 103, 104 and 106 – (1) per WC.

2.6 TOILET TISSUE DISPENSERS (TTD-2)

- A. Surface Mounted Double-Roll Toilet Tissue Dispensers:
1. Basis of Design: Bobrick Classic Series Model B-4288
 2. Mounting Plate: 16 gauge stainless steel.
 3. Door: Type 430, 22 gauge stainless steel with satin finish; equipped with a lock keyed like other washroom accessories.
 4. Spindle: Fixed inner spindle, 20 gauge stainless steel
 5. Capacity: Accommodates two toilet tissue roll up to 5 1/4" inch diameter core.
 6. Location: Room 102A (1).

2.7 GRAB BARS (GB-#)

- A. Stainless Steel Grab Bars: With snap flange covers:
1. Satin Finish:

- a. Basis of Design: Bobrick Model B-5806X18 (GB-18)
 - 1) Length: 18 inches
- b. Basis of Design: Bobrick Model B-5806X36 (GB-36)
 - 1) Length: 36 inches
- c. Basis of Design: Bobrick Model B-5806 x 42 (GB-42)
 - 1) Length: 42 inches
- 2. Compliance: Barrier-free accessibility guidelines (including ADAAG) for structural strength.
 - a. Capacity: Designed to support 900 lbs (408 kg) in compliant installations.
- 3. Description: Clearance between grab bar and finished wall is 1-1/2 inches
- 4. Grab Bar Materials: 18-8, Type 304, stainless steel tubing with satin finish.
- 5. Grab Bar Construction: 18 gauge (1.2 mm), ends heliarc welded to flanges.
- 6. Outside Diameter: 1-1/4 inch (32 mm).
- 7. Mounting: Concealed with manufacturer's standard flanges and anchors.
- 8. Locations: Rooms 103.

2.8 HAND DRYER (HD)

- A. Basis-of-Design Product: XLerator "XL-SB-ECO" with XL-40502 Recessed Kit, or approved equal.
- B. Mounting: s
- C. Operation: Automatic, activated by infrared optical sensor. Shut-off within 2 seconds or in 35seconds if hands are not removed.
- D. Finish: Stainless Steel
- E. Locations: 104 and 105 (1) per room.

2.9 HOOKS (H)

- A. Basis of Design: Bobrick B-672 Double Robe Hook
- B. Finish: Bright Stainless Steel
- C. Location: Interior side of door – ADA restroom door 103 and Executive Toilet door 102AA (1) per door.

2.10 BABY CHANGING STATION (BCS)

- A. Basis of Design: Koala Horizontal Gray Baby Changing Station; KB200-01 or approved equal.
- B. Durable polypropylene in an attractive GREY color.
- C. Bed surface to contain MICROBAN antimicrobial additives to reduce odor causing bacteria.
- D. Two built-in, locking liner dispensers.
- E. Concealed gas spring mechanism for smooth, quiet open and close.
- F. Fully ASTM and EN compliant, to meet all ADA requirements when properly installed.
- G. Locations: Rooms 104 and 1005 (1) per room.

2.11 PAPER TOWEL DISPENSER (PTD)

- A. Basis of Design: Bradley-BX-Towel Dispenser; 2442-00 or approved equal.
- B. Finish: Architectural Satin Finish
- C. Mounting: Surface
- D. Operation: Towel dispenser holds multi-fold or C-fold towels without use of special adapter.
- E. Location: 103

2.12 MIRROR (M-1)

- F. Basis of Design: Bradley Commercial Mirror; 747-024360 with Clip Fasteners (24"x36").
- G. Finish: frameless, first quality 1/4" float glass, thermosetting infrared-cured paint backing. Edges ground and polished smooth.
- H. Mounting: Surface
- I. Location: 102A, 103, 104, 106

2.13 MATERIALS

- A. Stainless Steel: ASTM A 666, Type 304, with No. 4 finish (satin), in 0.0312-inch (0.8-mm) minimum nominal thickness, unless otherwise indicated.
- B. Plastic: High-impact ABS grey plastic.
- C. Sheet Steel: ASTM A 366/A 366M, cold rolled, commercial quality, 0.0359-inch (0.9-mm) minimum nominal thickness; surface preparation and metal pretreatment as required for applied finish.
- D. Galvanized Steel Sheet: ASTM A 653/A 653M, G60 (Z180).
- E. Chromium Plating: ASTM B 456, Service Condition Number SC 2 (moderate service), nickel plus chromium electrodeposited on base metal.
- F. Galvanized Steel Mounting Devices: ASTM A 153/A 153M, hot-dip galvanized after fabrication.
- G. Fasteners: Screws, bolts, and other devices of same material as accessory unit, tamper and theft resistant when exposed, and of galvanized steel when concealed.

2.14 FABRICATION

- A. General: One, maximum 1-1/2-inch- (38-mm-) diameter, unobtrusive stamped manufacturer logo, as approved by Engineer, is permitted on exposed face of accessories. On interior surface not exposed to view or back surface of each accessory, provide printed, waterproof label or stamped nameplate indicating manufacturer's name and product model number.
- B. Surface-Mounted Toilet Accessories: Unless otherwise indicated, fabricate units with tight seams and joints, and exposed edges rolled. Hang doors and access panels with continuous stainless-steel hinge. Provide concealed anchorage where possible.
- C. Recessed Toilet Accessories: Unless otherwise indicated, fabricate units of all-welded construction, without mitered corners. Hang doors and access panels with full-length, stainless-steel hinge. Provide anchorage that is fully concealed when unit is closed.
- D. Frame less Glass-Mirror Units: Refer to Division 8 Section "Mirrors".
- F. Keys: Provide universal keys for internal access to accessories for servicing and resupplying. Provide minimum of six keys to Owner's representative.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Install accessories according to manufacturers' written instructions, using fasteners appropriate to substrate indicated and recommended by unit manufacturer. Install units level, plumb, and firmly anchored in locations and at heights indicated.
- B. Secure mirrors to walls in concealed, tamper-resistant manner with special hangers, toggle bolts, or screws. Set units level, plumb, and square at locations indicated, according to manufacturer's written instructions for substrate indicated.

- C. Install grab bars to withstand a downward load of at least 250 lbf (1112 N), when tested according to method in ASTM F 446.

3.2 ADJUSTING AND CLEANING

- A. Adjust accessories for unencumbered, smooth operation and verify that mechanisms function properly. Replace damaged or defective items.
- B. Remove temporary labels and protective coatings.
- C. Clean and polish exposed surfaces according to manufacturer's written recommendations.

END OF SECTION 10 28 10

NOTE: NO INFORMATION OTHER THAN THAT INCLUDED IN OR ATTACHED TO THIS ORIGINAL BID DOCUMENT (WHERE SUCH ATTACHMENT IS PERMITTED) WILL BE USED IN DETERMINING AWARD.

ORIGINAL (NOT TO BE DETACHED)
NOTICE TO BIDDEERS

CITY OF BALTIMORE
DEPARTMENT OF RECREATION AND PARKS
CONTRACT NUMBER: RP 17807

THE COMPLETE (ORIGINAL)
CONTRACT BOOK AND
DUPLICATE OF BID OR
PROPOSAL MUST BE
INCLUDED IN THE
BID ENVELOPE

MARY E. RODMAN RECREATION CENTER RENOVATION

III. BID OR PROPOSAL

Opening of Bids **OCTOBER 06, 2021**

Certified Check or Bank Cashier's Check or Bank Treasurer's Check or Bid Bond Equal to
Two Percent (2%) of Total Bid Submitted.

Days of Completion **270** Consecutive Calendar Days

Liquidated Damages **\$1000.00** per Consecutive Calendar Day

Made this _____ day of _____ 20____

By _____

(Address)

(NOTE: The Bidder's name and address must be inserted above, and in the case of a Firm, the Name of the Firm and of each and every Member of the Firm must be inserted. In case a Bid shall be submitted by or on behalf of any corporation, the Name of such Corporation must be written above). Shall sign below to signify the following:

To "The Board of Estimates of Baltimore City":

I/We the undersigned Contractor, have familiarized myself/ourselves with the Requirements and Stipulations of the Contract Documents, and the site of the proposed work, and fully understand and appreciated extent and character of the work to be done under the Contract.

I/We propose to furnish all labor, materials, and equipment and to do everything except as otherwise provided in the Contract Documents.

Specifications, Special Provisions, Drawings and /or other Contract Documents hereto attached, at the following prices:

DUPLICATE

CONTRACT NO. RP20814

NOTE: NO INFORMATION OTHER THAN THAT INCLUDED IN OR ATTACHED TO THIS ORIGINAL BID DOCUMENT (WHERE SUCH ATTACHMENT IS PERMITTED) WILL BE USED IN DETERMINING AWARD.

ORIGINAL (NOT TO BE DETACHED)
NOTICE TO BIDDEERS

CITY OF BALTIMORE
DEPARTMENT OF RECREATION AND PARKS
CONTRACT NUMBER: RP 17807

THE COMPLETE (ORIGINAL)
CONTRACT BOOK AND
DUPLICATE OF BID OR
PROPOSAL MUST BE
INCLUDED IN THE
BID ENVELOPE

MARY E. RODMAN RECREATION CENTER RENOVATION

III. BID OR PROPOSAL

Opening of Bids **OCTOBER 06, 2021**

Certified Check or Bank Cashier's Check or Bank Treasurer's Check or Bid Bond Equal to
Two Percent (2%) of Total Bid Submitted.

Days of Completion **270** Consecutive Calendar Days

Liquidated Damages **\$1000.00** per Consecutive Calendar Day

Made this _____ day of _____ 20____

By _____

(Address)

(NOTE: The Bidder's name and address must be inserted above, and in the case of a Firm, the Name of the Firm and of each and every Member of the Firm must be inserted. In case a Bid shall be submitted by or on behalf of any corporation, the Name of such Corporation must be written above). Shall sign below to signify the following:

To "The Board of Estimates of Baltimore City":

I/We the undersigned Contractor, have familiarized myself/ourselves with the Requirements and Stipulations of the Contract Documents, and the site of the proposed work, and fully understand and appreciated extent and character of the work to be done under the Contract.

I/We propose to furnish all labor, materials, and equipment and to do everything except as otherwise provided in the Contract Documents.

Specifications, Special Provisions, Drawings and /or other Contract Documents hereto attached, at the following prices:

ALTERNATE BID ITEMS

Alternate Bid Items may be increased, decreased, or eliminate entirely. Alternate items may be included in the proposal for the sole purpose of providing for either an increase or decrease in lump sum items where specifically indicated in the Construction Detail/ Specifications. Alternate Bid Item Prices shall be used in determining the "Total Bid". Acceptance of Alternates for completion rests entirely on the Engineer at the Department of Recreation and Parks.

Lump Sum Prices: The Contractor shall bid and accept a "Lump Sum" price for each of the "Lump Sum" items in the Bid or Proposal, which "Lump Sum" prices constitute full payment for all work called for under these items.

AWARD AS ENTIREY

When Bid prices are asked for by items, the Contract will not be awarded by the items but will be awarded as an entirety on the basis of the "Total Bid", which total must be the aggregate sum of the prices bid on all the items; figured, in the bid

Alternate Bid Prices shall also be used in determining the "Total Bid". Acceptance of Alternates for completion rests entirely with the Engineer at the Department of Recreation and Parks.

UNIT PRICES

Unit price is an amount proposed by bidders, stated on the Bid Form, as per price per unit of measurements for materials or services added to the contractor Lump Sum scope of work. Appropriate modification, if estimated quantities of Work required by the Contract Documents and stipulated in a schedule of quantities are increased with the approval and at the direction of the Engineer at the Department of Recreation and Parks.

SCHEDULE OF PRICES

NOTE – THIS PROIPOSAL SHALL BE FILLED IN BY THE BIDDER WITH THE PRICES WRITTEN IN WORDS AND NUMERALS AND THE EXTENSIONS SHALL BE MADE BY HIM FOR COMPLETE INFORMATION CONCERNING THESE

ITEM NOS	APPROXIMATE QUANTITIES	DESCRIPTION OF ITEMS AND PRICES BID (IN WRITTEN WORDS)	UNIT PRICE DOLLARS	.CTS	AMOUNTS DOLLARS	.CTS
101	LUMP SUM	PROJECT COMPLETE <hr/> LUMP SUM	LUMP SUM			

END OF CATEGORY NO. 1

SCHEDULE OF PRICES

NOTE – THIS PROIPOSAL SHALL BE FILLED IN BY THE BIDDER WITH THE PRICES WRITTEN IN WORDS AND NUMERALS AND THE EXTENSIONS SHALL BE MADE BY HIM FOR COMPLETE INFORMATION CONCERNING THESE ITEMS SEE SPECIFICATIONS SPECIAL PROVISIONS AND CONTRACT FORM

	IN WRITTEN WORDS (USING THE FOLLOWING ITEMS) 101	TOTAL BID DOLLARS	.CTS
TOTAL BASE BID			

TOTAL BID

B. ALTERNATE BID ITEMS

Attention is directed to the Contract, Special Provisions, and the Specifications which are hereby made part of the Alternate Prices and which shall apply as fully as if repeated herein.

Consult the drawings and applicable portions of the Specifications for location and extent. All work shall be subject to all stipulation as set forth in the individual sections of the specifications for the work involved as if repeated herein.

In as much possible, the work that comprises the Alternates is defined on the drawings and labeled accordingly. For special conditions that occur between the Total Base Bid and Total Alternate Bid Items, or between different Alternate Bid Items, hereinafter described. Should a clarification of intent regarding what is included in a particular Alternate Bid Item, it shall be requested of the Engineer at the Department of Recreation and Parks in a timely manner prior to receipt of Bids, otherwise it shall be understood that the Contractor will complete the work covered by the Total Base Bid and whatever the Alternate Bid Items that are accepted plus whatever coordination or permanent or temporary work that is required to effectively and satisfactorily terminate incomplete construction or service either at the point of juncture with the new work or where directed. For additional information about each alternate bid item listed below, see Section 01 23 00 "Alternates".

SCHEDULE OF ALTERNATES

A. Alternate Bid Item No. 1 –

ADD Base Bid the cost of providing **New Exterior Vestibule and Doors** at Lump Sum

	\$	
Written Word		Numerical

B. Alternate Bid Item No. 2 –

ADD Base Bid the cost of providing **TPO Roof replacement** at Lump Sum

	\$	
Written Word		Numerical

C. Alternate Bid Item No. 3 –

ADD to Base Bid the cost of providing **Exterior Window replacement including glazing, framing and security grills** at Lump Sum.

Written Word

\$_____
Numerical

Signature and Title

**MAYOR AND CITY COUNCIL OF BALTIMORE CITY
BALTIMORE CITY CODE, ARTICLE 5, SUBTITLE 28
MINORITY AND WOMEN'S BUSINESS PROGRAM**

**MBE AND WBE PARTICIPATION
COMMITMENT FORMS**

Name of Bidder (Proposer) _____

Address _____

Contracting Agency: CAPITAL DEVELOPMENT AND PLANNING, DEPARTMENT OF RECREATION
AND PARKS

Contract (Project) Title: MARY E. RODMAN RECREATION CENTER RENOVATION

Contract Number: RP20814

Bid Due Date: 10/06/21

The MBE goal is 23% The WBE goal is 7%

If MBE Sub-Goals Apply:

African American _____%

Asian American _____%

Hispanic American _____%

Native American _____%

**THIS PACKAGE OF MBE AND WBE PARTICIPATION
COMMITMENT FORMS IS DUE WITH THE BID.**

FOR MORE INFORMATION OR ASSISTANCE WITH THESE FORMS CONTACT:

Minority and Women's Business Opportunity Office (MWBOO)

Baltimore City Department of Law

Room 101, City Hall

100 N. Holliday Street

Baltimore, MD 21202

(410)396-4355

E-Mail: MBWOOCompliance@baltimorecity.gov (Attention: MBE/WBE Bid Packet)

PART E: MBE/WBE PARTICIPATION WAIVER REQUEST FORM
--

Name of Bidder (Proposer) _____

Address _____

Contracting Agency: **CAPITAL DEVELOPMENT AND PLANNING, DEPARTMENT OF RECREATION AND PARKS**Contract (Project) Number and Title: **RP 20814, MARY E. RODMAN RECREATION CENTER RENOVATION** Bid Due Date: **10/06/21****Goals on this contract..... MBE: 23% and WBE: 7%**

If MBE Sub-Goals Apply:

African American: _____% Asian American: _____%

Hispanic American: _____% Native American: _____%

I have achieved.....MBE: _____% and WBE: _____%

If MBE Sub-Goals Apply:

African American: _____% Asian American: _____%

Hispanic American: _____% Native American: _____%

I am requesting a waiver of.....MBE: _____% and WBE: _____%

If MBE Sub-Goals Apply:

African American: _____% Asian American: _____%

Hispanic American: _____% Native American: _____%

I have contacted MWBOO for assistance: _____Yes _____No (*Check One*)Number of MBE firms contacted: _____ (*Attach a list of names.*)Number of WBE firms contacted: _____ (*Attach a list of names.*)

Explain why waiver is being requested:

Attach documentation of your good faith efforts to secure, contact and negotiate with MBEs and WBEs, including:

- (1) The reasons your company is unable to secure sufficient MBE/WBE participation to meet the stated goals
- (2) The efforts made by your company to select portions of the contract to be performed by MBEs and WBEs
- (3) For each MBE or WBE that placed a bid that you consider to be unacceptable, a statement that explains the basis for that conclusion

Signature of Authorized Company Representative_____
Date

D. MAYOR AND CITY COUNCIL OF BALTIMORE, MARYLAND
THE BALTIMORE APPRENTICE TRAINEE PROGRAM (BATP)

BID FORM

Contracting Agency DEPARTMENT OF RECREATION AND PARKS Contract

(Project Title) **RP20814 Mary E. Rodman Recreation Center Renovation**

Scheduled Bid Due Date: **Wednesday, October 06, 2021**

THIS APPRENTICE TRAINEE FORM IS DUE WITH THE BID.

FOR MORE INFORMATION ABOUT THIS FORM OR ASSISTANCE, CONTACT:

Minority and Women's Business Opportunity Office (MWBOO)
100 N. Holliday Street, Rm. 101
Baltimore, MD 21202
(410) 396-4355
Christopher R. Lundy, Chief Solicitor

MWBOO (08/21)

Employ Baltimore
CERTIFICATION STATEMENT

Contracting City Agency	Bid Number	Bid Due Date
Department of Recreation and Parks	RP20814	October 06, 2021

To promote the commitment to utilize ***Employ Baltimore*** to meet employment needs, all businesses awarded contracts, franchises and development opportunities with the City of Baltimore, shall comply with the terms of the Executive Order as described in the bid specification. Under this agreement, contract awardees will complete and submit this certification statement with the bid package.

This Executive Order shall apply to contracts awarded by the City that are in the amounts of \$50,000.01 to \$300,000.00, except for professional service contracts and emergency contracts.

Additionally, companies awarded construction contracts that fully participate in the ***Employ Baltimore*** program and submit and comply with the certification statement, may receive an early release of or reduction in the retainage fee assigned to the contract.

CERTIFICATION STATEMENT

As a representative of _____, I _____
 (NAME OF COMPANY) (PRINT NAME and TITLE)

Certify that a company representative will schedule a meeting with the Mayor's Office of Employment Development within two weeks of contract award to review the workforce plan required for this contract.

If there is a need for additional employees, I agree to post the new job openings with MOED's One Stop Career Center Network for seven (7) days prior to publicly advertising these openings. I agree to interview qualified Baltimore City residents referred from MOED. I agree to submit an Employment Report on June 30th and December 31st identifying the total number of workers on this project and total number of Baltimore City residents on payroll during each year of the contract and at the contract completion as a condition of release of the final payment or any retainage due.

Name: _____ Telephone: _____

Company Address _____ Email: _____

Yvette Clark or Katelyn Murphy
Mayor's Office of Employment Development
36 S. Charles Street
Baltimore, Maryland 21201
Phone 443-984-3014 • Fax 443-220-0510
employbaltimore@oedworks.com

<div>ABBREVIATIONS</div> <table><tr><td>ACT</td><td>ACOUSTICAL CEILING TILE</td><td>REF.</td><td>REFRIDGERATOR</td></tr><tr><td>A/C</td><td>AIR CONDITIONING</td><td>REQ'D</td><td>REQUIRED</td></tr><tr><td>ADJ</td><td>ADJUSTABLE</td><td>R.H.</td><td>RIGHT HAND</td></tr><tr><td>AFF</td><td>ABOVE FINISHED FLOOR</td><td>RM</td><td>ROOM</td></tr><tr><td>A.B.E.</td><td>ABOVE BENCHMARK ELEVATION</td><td></td><td></td></tr><tr><td>A.H.U.</td><td>AIR HANDLING UNIT</td><td>SF</td><td>SQUARE FEET</td></tr><tr><td>ALUM</td><td>ALUMINUM</td><td>S.G.T.</td><td>STRUCTURAL GLAZED TILE</td></tr><tr><td>APPROX</td><td>APPROXIMATE</td><td>SH.T.</td><td>SHEET</td></tr><tr><td>ARCH</td><td>ARCHITECTURAL</td><td>SIM.</td><td>SIMILAR</td></tr><tr><td>@</td><td>AT</td><td>S.O.G.</td><td>SLAB ON GRADE</td></tr><tr><td></td><td></td><td>SNT.</td><td>SEALANT</td></tr><tr><td></td><td></td><td>SPEC.</td><td>SPECIFICATION</td></tr><tr><td>B.C.</td><td>BASE CABINET</td><td>STD.</td><td>STANDARD</td></tr><tr><td>BD.</td><td>BOARD</td><td>STL.</td><td>STEEL</td></tr><tr><td>BITUM.</td><td>BITUMINOUS</td><td>S.S.</td><td>STAINLESS STEEL</td></tr><tr><td>BLDG.</td><td>BUILDING</td><td>STOR.</td><td>STORAGE</td></tr><tr><td>BLK.</td><td>BLOCK</td><td>STRUCT.</td><td>STRUCTURE</td></tr><tr><td>BLKD.</td><td>BULKHEAD</td><td>SQ.</td><td>SQUARE</td></tr><tr><td>BLKG.</td><td>BLOCKING</td><td>SUSP.</td><td>SUSPENDED</td></tr><tr><td>C</td><td>CENTER LINE</td><td>T & G</td><td>TONGUE & GROOVE</td></tr><tr><td>C.B.</td><td>CHALK BOARD</td><td>TEMP</td><td>TEMPORARY</td></tr><tr><td>CL</td><td>CLOSET</td><td>TH.</td><td>THICK</td></tr><tr><td>CLG.</td><td>CEILING</td><td>T.O.S.</td><td>TOP OF SLAB</td></tr><tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>T.O.J.</td><td>TOP OF JOIST</td></tr><tr><td>COL</td><td>COLUMN</td><td>TLT.</td><td>TOILET</td></tr><tr><td>CONC.</td><td>CONCRETE</td><td>TYP.</td><td>TYPICAL</td></tr><tr><td>CONT.</td><td>CONTINUOUS</td><td></td><td></td></tr><tr><td>C.J.</td><td>CONTROL JOINT</td><td>U.N.O.</td><td>UNLESS NOTED OTHERWISE</td></tr><tr><td>CPT.</td><td>CARPET</td><td></td><td></td></tr><tr><td>C.T.</td><td>CERAMIC TILE</td><td>V.C.T.</td><td>VINYL COMPOSITION TILE</td></tr><tr><td></td><td></td><td>VERT.</td><td>VERTICAL</td></tr><tr><td>D.</td><td>DEEP</td><td>V.I.F.</td><td>VERIFY IN FIELD</td></tr><tr><td>DEMO</td><td>DEMOLITION</td><td>V.I.F.W.A.</td><td>VERIFY IN FIELD WITH ARCHITECT</td></tr><tr><td>D.F.</td><td>DRINKING FOUNTAIN</td><td></td><td></td></tr><tr><td>DIM.</td><td>DIMENSION</td><td>W/</td><td>WITH</td></tr><tr><td>DN.</td><td>DOWN</td><td>W.</td><td>WIDTH</td></tr><tr><td>DTL</td><td>DETAIL</td><td>W.B.</td><td>WALL BOARD</td></tr><tr><td>DIA</td><td>DIAMETER</td><td>W.C.</td><td>WATER CLOSET</td></tr><tr><td>DS</td><td>DOWN SPOUT</td><td>WD.</td><td>WOOD</td></tr><tr><td>DWG.</td><td>DRAWING</td><td>W/O</td><td>WITHOUT</td></tr><tr><td>E.J.</td><td>EXPANSION JOINT</td><td></td><td></td></tr><tr><td>EL</td><td>ELEVATOR</td><td></td><td></td></tr><tr><td>ELEC.</td><td>ELECTRICAL</td><td></td><td></td></tr><tr><td>ELEV.</td><td>ELEVATION</td><td></td><td></td></tr><tr><td>ETC</td><td>ETCETERA</td><td></td><td></td></tr><tr><td>E.T.R.</td><td>EXISTING TO REMAIN</td><td></td><td></td></tr><tr><td>EQUIP.</td><td>EQUIPMENT</td><td></td><td></td></tr><tr><td>EXIST.</td><td>EXISTING</td><td></td><td></td></tr><tr><td>EXT</td><td>EXTERIOR</td><td></td><td></td></tr><tr><td>F.E.C.</td><td>FIRE EXTINGUISHER CABINET</td><td></td><td></td></tr><tr><td>F.D.</td><td>FLOOR DRAIN</td><td></td><td></td></tr><tr><td>F.F.E.</td><td>FINISH FLOOR ELEVATION</td><td></td><td></td></tr><tr><td>FIN</td><td>FINISH</td><td></td><td></td></tr><tr><td>FL. OR FLR.</td><td>FLOOR</td><td></td><td></td></tr><tr><td>FOM</td><td>FACE OF MASONRY</td><td></td><td></td></tr><tr><td>FT</td><td>FOOT, FEET</td><td></td><td></td></tr><tr><td>F.V.W.A.</td><td>FIELD VERIFY WITH ARCHITECT</td><td></td><td></td></tr><tr><td>GA</td><td>GAUGE</td><td></td><td></td></tr><tr><td>GALV</td><td>GALVANIZED</td><td></td><td></td></tr><tr><td>GYP. BD.</td><td>GYSUM BOARD</td><td></td><td></td></tr><tr><td>GSF</td><td>GROSS SQUARE FEET</td><td></td><td></td></tr><tr><td>GWB</td><td>GYSUM WALL BOARD</td><td></td><td></td></tr><tr><td>GT</td><td>GLAZING TYPE</td><td></td><td></td></tr><tr><td>H OR HT</td><td>HEIGHT</td><td></td><td></td></tr><tr><td>HC</td><td>HANDICAPPED</td><td></td><td></td></tr><tr><td>H.M.</td><td>HOLLOW METAL</td><td></td><td></td></tr><tr><td>HORIZ.</td><td>HORIZONTAL</td><td></td><td></td></tr><tr><td>HR</td><td>HOUR</td><td></td><td></td></tr><tr><td>HVAC</td><td>HEATING/VENTILATION, AIR CONDITIONING</td><td></td><td></td></tr><tr><td>IN</td><td>INCH</td><td></td><td></td></tr><tr><td>INSUL.</td><td>INSULATION</td><td></td><td></td></tr><tr><td>INT.</td><td>INTERIOR</td><td></td><td></td></tr><tr><td>JAN.</td><td>JANITOR</td><td></td><td></td></tr><tr><td>JT</td><td>JOINT</td><td></td><td></td></tr><tr><td>L</td><td>LENGTH</td><td></td><td></td></tr><tr><td>LAV.</td><td>LAVATORY</td><td></td><td></td></tr><tr><td>L.H.</td><td>LEFT HAND</td><td></td><td></td></tr><tr><td>MACH.</td><td>MACHINE</td><td></td><td></td></tr><tr><td>MAT'L</td><td>MATERIAL</td><td></td><td></td></tr><tr><td>MAX.</td><td>MAXIMUM</td><td></td><td></td></tr><tr><td>M.E.</td><td>MATCH EXISTING</td><td></td><td></td></tr><tr><td>MECH.</td><td>MECHANICAL</td><td></td><td></td></tr><tr><td>MEP</td><td>MECHANICAL/ELECTRICAL/PLUMBING</td><td></td><td></td></tr><tr><td>MIN.</td><td>MINIMUM</td><td></td><td></td></tr><tr><td>MISC.</td><td>MISCELLANEOUS</td><td></td><td></td></tr><tr><td>M.O.</td><td>MASONRY OPENING</td><td></td><td></td></tr><tr><td>MTD</td><td>MOUNTED</td><td></td><td></td></tr><tr><td>MTL</td><td>METAL</td><td></td><td></td></tr><tr><td>NO. OR #</td><td>NUMBER</td><td></td><td></td></tr><tr><td>NOM.</td><td>NOMINAL</td><td></td><td></td></tr><tr><td>N.I.C.</td><td>NOT IN CONTRACT</td><td></td><td></td></tr><tr><td>NSF</td><td>NET SQUARE FEET</td><td></td><td></td></tr><tr><td>N.T.S.</td><td>NOT TO SCALE</td><td></td><td></td></tr><tr><td>O.C.</td><td>ON CENTER</td><td></td><td></td></tr><tr><td>OPNG.</td><td>OPENING</td><td></td><td></td></tr><tr><td>P-LAM</td><td>PLASTIC LAMINATE</td><td></td><td></td></tr><tr><td>PLYWD</td><td>PLYWOOD</td><td></td><td></td></tr><tr><td>P.T.</td><td>PORCELAIN TILE</td><td></td><td></td></tr><tr><td>PTD.</td><td>PAINTED</td><td></td><td></td></tr></table>	ACT	ACOUSTICAL CEILING TILE	REF.	REFRIDGERATOR	A/C	AIR CONDITIONING	REQ'D	REQUIRED	ADJ	ADJUSTABLE	R.H.	RIGHT HAND	AFF	ABOVE FINISHED FLOOR	RM	ROOM	A.B.E.	ABOVE BENCHMARK ELEVATION			A.H.U.	AIR HANDLING UNIT	SF	SQUARE FEET	ALUM	ALUMINUM	S.G.T.	STRUCTURAL GLAZED TILE	APPROX	APPROXIMATE	SH.T.	SHEET	ARCH	ARCHITECTURAL	SIM.	SIMILAR	@	AT	S.O.G.	SLAB ON GRADE			SNT.	SEALANT			SPEC.	SPECIFICATION	B.C.	BASE CABINET	STD.	STANDARD	BD.	BOARD	STL.	STEEL	BITUM.	BITUMINOUS	S.S.	STAINLESS STEEL	BLDG.	BUILDING	STOR.	STORAGE	BLK.	BLOCK	STRUCT.	STRUCTURE	BLKD.	BULKHEAD	SQ.	SQUARE	BLKG.	BLOCKING	SUSP.	SUSPENDED	C	CENTER LINE	T & G	TONGUE & GROOVE	C.B.	CHALK BOARD	TEMP	TEMPORARY	CL	CLOSET	TH.	THICK	CLG.	CEILING	T.O.S.	TOP OF SLAB	CMU	CONCRETE MASONRY UNIT	T.O.J.	TOP OF JOIST	COL	COLUMN	TLT.	TOILET	CONC.	CONCRETE	TYP.	TYPICAL	CONT.	CONTINUOUS			C.J.	CONTROL JOINT	U.N.O.	UNLESS NOTED OTHERWISE	CPT.	CARPET			C.T.	CERAMIC TILE	V.C.T.	VINYL COMPOSITION TILE			VERT.	VERTICAL	D.	DEEP	V.I.F.	VERIFY IN FIELD	DEMO	DEMOLITION	V.I.F.W.A.	VERIFY IN FIELD WITH ARCHITECT	D.F.	DRINKING FOUNTAIN			DIM.	DIMENSION	W/	WITH	DN.	DOWN	W.	WIDTH	DTL	DETAIL	W.B.	WALL BOARD	DIA	DIAMETER	W.C.	WATER CLOSET	DS	DOWN SPOUT	WD.	WOOD	DWG.	DRAWING	W/O	WITHOUT	E.J.	EXPANSION JOINT			EL	ELEVATOR			ELEC.	ELECTRICAL			ELEV.	ELEVATION			ETC	ETCETERA			E.T.R.	EXISTING TO REMAIN			EQUIP.	EQUIPMENT			EXIST.	EXISTING			EXT	EXTERIOR			F.E.C.	FIRE EXTINGUISHER CABINET			F.D.	FLOOR DRAIN			F.F.E.	FINISH FLOOR ELEVATION			FIN	FINISH			FL. OR FLR.	FLOOR			FOM	FACE OF MASONRY			FT	FOOT, FEET			F.V.W.A.	FIELD VERIFY WITH ARCHITECT			GA	GAUGE			GALV	GALVANIZED			GYP. BD.	GYSUM BOARD			GSF	GROSS SQUARE FEET			GWB	GYSUM WALL BOARD			GT	GLAZING TYPE			H OR HT	HEIGHT			HC	HANDICAPPED			H.M.	HOLLOW METAL			HORIZ.	HORIZONTAL			HR	HOUR			HVAC	HEATING/VENTILATION, AIR CONDITIONING			IN	INCH			INSUL.	INSULATION			INT.	INTERIOR			JAN.	JANITOR			JT	JOINT			L	LENGTH			LAV.	LAVATORY			L.H.	LEFT HAND			MACH.	MACHINE			MAT'L	MATERIAL			MAX.	MAXIMUM			M.E.	MATCH EXISTING			MECH.	MECHANICAL			MEP	MECHANICAL/ELECTRICAL/PLUMBING			MIN.	MINIMUM			MISC.	MISCELLANEOUS			M.O.	MASONRY OPENING			MTD	MOUNTED			MTL	METAL			NO. OR #	NUMBER			NOM.	NOMINAL			N.I.C.	NOT IN CONTRACT			NSF	NET SQUARE FEET			N.T.S.	NOT TO SCALE			O.C.	ON CENTER			OPNG.	OPENING			P-LAM	PLASTIC LAMINATE			PLYWD	PLYWOOD			P.T.	PORCELAIN TILE			PTD.	PAINTED			<div>BALTIMORE CITY RECREATION & PARKS</div> <div>MARY E. RODMAN RECREATION CENTER RENOVATION</div> <div>3600 W MULBERRY ST BALTIMORE, MARYLAND 21229</div>		<div>SHEET LIST</div> <div><div><div>CS-1</div><div>COVER SHEET</div></div><div><div>CS-2</div><div>CODE SUMMARY</div></div></div> <div><div>ARCHITECTURAL</div><div>AD-100</div><div>DEMOLITION PLAN</div><div>A-101</div><div>NEW FLOOR PLAN</div><div>A-103</div><div>ROOF PLAN (ADD ALTERNATE)</div><div>A-104</div><div>FINISH PLANS</div><div>A-107</div><div>REFLECTED CEILING PLAN</div><div>A-200</div><div>OVERALL EXTERIOR ELEVATIONS</div><div>A-300</div><div>BUILDING SECTIONS</div><div>A-301</div><div>WALL SECTIONS</div><div>A-303</div><div>ENTRY VESTIBULE (ADD ALTERNATE)</div><div>A-400</div><div>INTERIOR ELEVATIONS MULTI-PURPOSE ROOM</div><div>A-401</div><div>TOILET ROOM PLANS AND ELEVATIONS</div><div>A-402</div><div>WARMING KITCHEN PLAN/ELEVATIONS</div><div>A-501</div><div>ROOF DETAILS (ADD ALTERNATE)</div><div>A-600</div><div>DOOR SCHEDULE & PARTITION TYPES</div><div>A-601</div><div>DOOR DETAILS</div><div>A-602</div><div>INTERIOR HOLLOW METAL</div><div>A-603</div><div>SIGNAGE</div></div> <div><div>STRUCTURAL</div><div>S-100</div><div>GENERAL NOTES</div><div>S-201</div><div>FIRST FLOOR PLAN</div><div>S-202</div><div>LOWER ROOF PLAN</div><div>S-301</div><div>TYPICAL DETAILS</div><div>S-302</div><div>TYPICAL DETAILS</div><div>S-303</div><div>TYPICAL DETAILS</div><div>S-401</div><div>SECTION AND DETAILS</div></div> <div><div>MECHANICAL</div><div>M-001</div><div>MECHANICAL SYMBOLS, ABBREVIATIONS, & GENERAL NOTES</div><div>MD-101</div><div>MECHANICAL DEMOLITION PLAN</div><div>M-101</div><div>MECHANICAL NEW WORK PLANS</div><div>M-201</div><div>MECHANICAL SCHEDULE</div><div>M-301</div><div>MECHANICAL DETAILS</div></div> <div><div>ELECTRICAL</div><div>E-001</div><div>ELECTRICAL SYMBOLS, ABBREVIATIONS, & GENERAL NOTES</div><div>ED-101</div><div>ELECTRICAL DEMOLITION PLAN</div><div>E-101</div><div>ELECTRICAL POWER NEW WORK PLANS</div><div>E-102</div><div>ELECTRICAL POWER NEW WORK PLANS</div><div>E-201</div><div>ELECTRICAL SCHEDULES</div></div> <div><div>PLUMBING</div><div>P-001</div><div>PLUMBING SYMBOLS, SCHED., ABBREVIATIONS, & GENERAL NOTES</div><div>PD-101</div><div>PLUMBING DEMOLITION PLAN</div><div>P-101</div><div>PLUMBING NEW WORK PLANS</div><div>P-201</div><div>PLUMBING DETAILS, & RISER DIAGRAMS</div></div>
ACT	ACOUSTICAL CEILING TILE	REF.	REFRIDGERATOR																																																																																																																																																																																																																																																																																																																																																																																																												
A/C	AIR CONDITIONING	REQ'D	REQUIRED																																																																																																																																																																																																																																																																																																																																																																																																												
ADJ	ADJUSTABLE	R.H.	RIGHT HAND																																																																																																																																																																																																																																																																																																																																																																																																												
AFF	ABOVE FINISHED FLOOR	RM	ROOM																																																																																																																																																																																																																																																																																																																																																																																																												
A.B.E.	ABOVE BENCHMARK ELEVATION																																																																																																																																																																																																																																																																																																																																																																																																														
A.H.U.	AIR HANDLING UNIT	SF	SQUARE FEET																																																																																																																																																																																																																																																																																																																																																																																																												
ALUM	ALUMINUM	S.G.T.	STRUCTURAL GLAZED TILE																																																																																																																																																																																																																																																																																																																																																																																																												
APPROX	APPROXIMATE	SH.T.	SHEET																																																																																																																																																																																																																																																																																																																																																																																																												
ARCH	ARCHITECTURAL	SIM.	SIMILAR																																																																																																																																																																																																																																																																																																																																																																																																												
@	AT	S.O.G.	SLAB ON GRADE																																																																																																																																																																																																																																																																																																																																																																																																												
		SNT.	SEALANT																																																																																																																																																																																																																																																																																																																																																																																																												
		SPEC.	SPECIFICATION																																																																																																																																																																																																																																																																																																																																																																																																												
B.C.	BASE CABINET	STD.	STANDARD																																																																																																																																																																																																																																																																																																																																																																																																												
BD.	BOARD	STL.	STEEL																																																																																																																																																																																																																																																																																																																																																																																																												
BITUM.	BITUMINOUS	S.S.	STAINLESS STEEL																																																																																																																																																																																																																																																																																																																																																																																																												
BLDG.	BUILDING	STOR.	STORAGE																																																																																																																																																																																																																																																																																																																																																																																																												
BLK.	BLOCK	STRUCT.	STRUCTURE																																																																																																																																																																																																																																																																																																																																																																																																												
BLKD.	BULKHEAD	SQ.	SQUARE																																																																																																																																																																																																																																																																																																																																																																																																												
BLKG.	BLOCKING	SUSP.	SUSPENDED																																																																																																																																																																																																																																																																																																																																																																																																												
C	CENTER LINE	T & G	TONGUE & GROOVE																																																																																																																																																																																																																																																																																																																																																																																																												
C.B.	CHALK BOARD	TEMP	TEMPORARY																																																																																																																																																																																																																																																																																																																																																																																																												
CL	CLOSET	TH.	THICK																																																																																																																																																																																																																																																																																																																																																																																																												
CLG.	CEILING	T.O.S.	TOP OF SLAB																																																																																																																																																																																																																																																																																																																																																																																																												
CMU	CONCRETE MASONRY UNIT	T.O.J.	TOP OF JOIST																																																																																																																																																																																																																																																																																																																																																																																																												
COL	COLUMN	TLT.	TOILET																																																																																																																																																																																																																																																																																																																																																																																																												
CONC.	CONCRETE	TYP.	TYPICAL																																																																																																																																																																																																																																																																																																																																																																																																												
CONT.	CONTINUOUS																																																																																																																																																																																																																																																																																																																																																																																																														
C.J.	CONTROL JOINT	U.N.O.	UNLESS NOTED OTHERWISE																																																																																																																																																																																																																																																																																																																																																																																																												
CPT.	CARPET																																																																																																																																																																																																																																																																																																																																																																																																														
C.T.	CERAMIC TILE	V.C.T.	VINYL COMPOSITION TILE																																																																																																																																																																																																																																																																																																																																																																																																												
		VERT.	VERTICAL																																																																																																																																																																																																																																																																																																																																																																																																												
D.	DEEP	V.I.F.	VERIFY IN FIELD																																																																																																																																																																																																																																																																																																																																																																																																												
DEMO	DEMOLITION	V.I.F.W.A.	VERIFY IN FIELD WITH ARCHITECT																																																																																																																																																																																																																																																																																																																																																																																																												
D.F.	DRINKING FOUNTAIN																																																																																																																																																																																																																																																																																																																																																																																																														
DIM.	DIMENSION	W/	WITH																																																																																																																																																																																																																																																																																																																																																																																																												
DN.	DOWN	W.	WIDTH																																																																																																																																																																																																																																																																																																																																																																																																												
DTL	DETAIL	W.B.	WALL BOARD																																																																																																																																																																																																																																																																																																																																																																																																												
DIA	DIAMETER	W.C.	WATER CLOSET																																																																																																																																																																																																																																																																																																																																																																																																												
DS	DOWN SPOUT	WD.	WOOD																																																																																																																																																																																																																																																																																																																																																																																																												
DWG.	DRAWING	W/O	WITHOUT																																																																																																																																																																																																																																																																																																																																																																																																												
E.J.	EXPANSION JOINT																																																																																																																																																																																																																																																																																																																																																																																																														
EL	ELEVATOR																																																																																																																																																																																																																																																																																																																																																																																																														
ELEC.	ELECTRICAL																																																																																																																																																																																																																																																																																																																																																																																																														
ELEV.	ELEVATION																																																																																																																																																																																																																																																																																																																																																																																																														
ETC	ETCETERA																																																																																																																																																																																																																																																																																																																																																																																																														
E.T.R.	EXISTING TO REMAIN																																																																																																																																																																																																																																																																																																																																																																																																														
EQUIP.	EQUIPMENT																																																																																																																																																																																																																																																																																																																																																																																																														
EXIST.	EXISTING																																																																																																																																																																																																																																																																																																																																																																																																														
EXT	EXTERIOR																																																																																																																																																																																																																																																																																																																																																																																																														
F.E.C.	FIRE EXTINGUISHER CABINET																																																																																																																																																																																																																																																																																																																																																																																																														
F.D.	FLOOR DRAIN																																																																																																																																																																																																																																																																																																																																																																																																														
F.F.E.	FINISH FLOOR ELEVATION																																																																																																																																																																																																																																																																																																																																																																																																														
FIN	FINISH																																																																																																																																																																																																																																																																																																																																																																																																														
FL. OR FLR.	FLOOR																																																																																																																																																																																																																																																																																																																																																																																																														
FOM	FACE OF MASONRY																																																																																																																																																																																																																																																																																																																																																																																																														
FT	FOOT, FEET																																																																																																																																																																																																																																																																																																																																																																																																														
F.V.W.A.	FIELD VERIFY WITH ARCHITECT																																																																																																																																																																																																																																																																																																																																																																																																														
GA	GAUGE																																																																																																																																																																																																																																																																																																																																																																																																														
GALV	GALVANIZED																																																																																																																																																																																																																																																																																																																																																																																																														
GYP. BD.	GYSUM BOARD																																																																																																																																																																																																																																																																																																																																																																																																														
GSF	GROSS SQUARE FEET																																																																																																																																																																																																																																																																																																																																																																																																														
GWB	GYSUM WALL BOARD																																																																																																																																																																																																																																																																																																																																																																																																														
GT	GLAZING TYPE																																																																																																																																																																																																																																																																																																																																																																																																														
H OR HT	HEIGHT																																																																																																																																																																																																																																																																																																																																																																																																														
HC	HANDICAPPED																																																																																																																																																																																																																																																																																																																																																																																																														
H.M.	HOLLOW METAL																																																																																																																																																																																																																																																																																																																																																																																																														
HORIZ.	HORIZONTAL																																																																																																																																																																																																																																																																																																																																																																																																														
HR	HOUR																																																																																																																																																																																																																																																																																																																																																																																																														
HVAC	HEATING/VENTILATION, AIR CONDITIONING																																																																																																																																																																																																																																																																																																																																																																																																														
IN	INCH																																																																																																																																																																																																																																																																																																																																																																																																														
INSUL.	INSULATION																																																																																																																																																																																																																																																																																																																																																																																																														
INT.	INTERIOR																																																																																																																																																																																																																																																																																																																																																																																																														
JAN.	JANITOR																																																																																																																																																																																																																																																																																																																																																																																																														
JT	JOINT																																																																																																																																																																																																																																																																																																																																																																																																														
L	LENGTH																																																																																																																																																																																																																																																																																																																																																																																																														
LAV.	LAVATORY																																																																																																																																																																																																																																																																																																																																																																																																														
L.H.	LEFT HAND																																																																																																																																																																																																																																																																																																																																																																																																														
MACH.	MACHINE																																																																																																																																																																																																																																																																																																																																																																																																														
MAT'L	MATERIAL																																																																																																																																																																																																																																																																																																																																																																																																														
MAX.	MAXIMUM																																																																																																																																																																																																																																																																																																																																																																																																														
M.E.	MATCH EXISTING																																																																																																																																																																																																																																																																																																																																																																																																														
MECH.	MECHANICAL																																																																																																																																																																																																																																																																																																																																																																																																														
MEP	MECHANICAL/ELECTRICAL/PLUMBING																																																																																																																																																																																																																																																																																																																																																																																																														
MIN.	MINIMUM																																																																																																																																																																																																																																																																																																																																																																																																														
MISC.	MISCELLANEOUS																																																																																																																																																																																																																																																																																																																																																																																																														
M.O.	MASONRY OPENING																																																																																																																																																																																																																																																																																																																																																																																																														
MTD	MOUNTED																																																																																																																																																																																																																																																																																																																																																																																																														
MTL	METAL																																																																																																																																																																																																																																																																																																																																																																																																														
NO. OR #	NUMBER																																																																																																																																																																																																																																																																																																																																																																																																														
NOM.	NOMINAL																																																																																																																																																																																																																																																																																																																																																																																																														
N.I.C.	NOT IN CONTRACT																																																																																																																																																																																																																																																																																																																																																																																																														
NSF	NET SQUARE FEET																																																																																																																																																																																																																																																																																																																																																																																																														
N.T.S.	NOT TO SCALE																																																																																																																																																																																																																																																																																																																																																																																																														
O.C.	ON CENTER																																																																																																																																																																																																																																																																																																																																																																																																														
OPNG.	OPENING																																																																																																																																																																																																																																																																																																																																																																																																														
P-LAM	PLASTIC LAMINATE																																																																																																																																																																																																																																																																																																																																																																																																														
PLYWD	PLYWOOD																																																																																																																																																																																																																																																																																																																																																																																																														
P.T.	PORCELAIN TILE																																																																																																																																																																																																																																																																																																																																																																																																														
PTD.	PAINTED																																																																																																																																																																																																																																																																																																																																																																																																														

SYMBOLS

DRAWING #

SHEET #

BUILDING SECTION

DRAWING #

SHEET #

WALL SECTION

DRAWING #

SHEET #

BUILDING ELEVATION

DRAWING #

SHEET #

INTERIOR ELEVATIONS

DRAWING #

SHEET #

DETAIL

DRAWING #

SHEET #

NEW SUSP. A.C.T. CEILING & GRID

DRAWING #

SHEET #

EXISTING DOOR (TO BE REMOVED)

DRAWING #

SHEET #

EXISTING DOOR

DRAWING #

SHEET #

NEW DOOR

COMPACTED SUBGRADE

CONCRETE

C.M.U.

ROUGH WOOD

PLYWOOD

FINISHED WOOD

WINDOW TYPE (SEE WINDOW SCHEDULE)

DOOR NUMBER (SEE DOOR SCHEDULE)

PARTITION TYPE

RIGID INSULATION

BATT INSULATION

BRICK

EXISTING WALLS (TO BE REMOVED)

NEW PARTITION

ARCHITECT

MURPHY & DITTENHAFFER ARCHITECTS

805 NORTH CHARLES ST.

BALTIMORE, MARYLAND 21201

TEL. 410.625.4823

STRUCTURAL ENGINEER

RESTL DESIGNERS, INC.

7133 RUTHERFORD ROAD

SUITE 110

WINDSOR MILL, MD 21244

TEL. 202.452.1103

MEP ENGINEER

KES ENGINEERING, INC.

6325 WOODSIDE COURT

SUITE 220

COLUMBIA, MARYLAND 21046

TEL. 301.641.2040

VICINITY MAP

LOCATION MAP

SITE LOCATION

SITE LOCATION

BALTIMORE CITY RECREATION & PARKS

MARY E. RODMAN RECREATION CENTER RENOVATION

3600 W Mulberry St, Baltimore, MD 21229

Murphy & Dittenhafer

A R C H I T E C T S

226 West Market Street, York, Pennsylvania 17401
410-625-4823 voice 717-643-3444 fax

805 North Charles Street, Baltimore, Maryland 21201
410-625-4823 voice 410-625-4874 fax

Mark	Date	Description
	3/29/2021	100% CONSTRUCTION DRAWINGS
	8/25/2021	100% CONSTRUCTION DRAWINGS

PROJECT NO: 20119

DRAWN BY: AWO

CHECKED BY: LMM

COVER SHEET

SHEET
CS-1

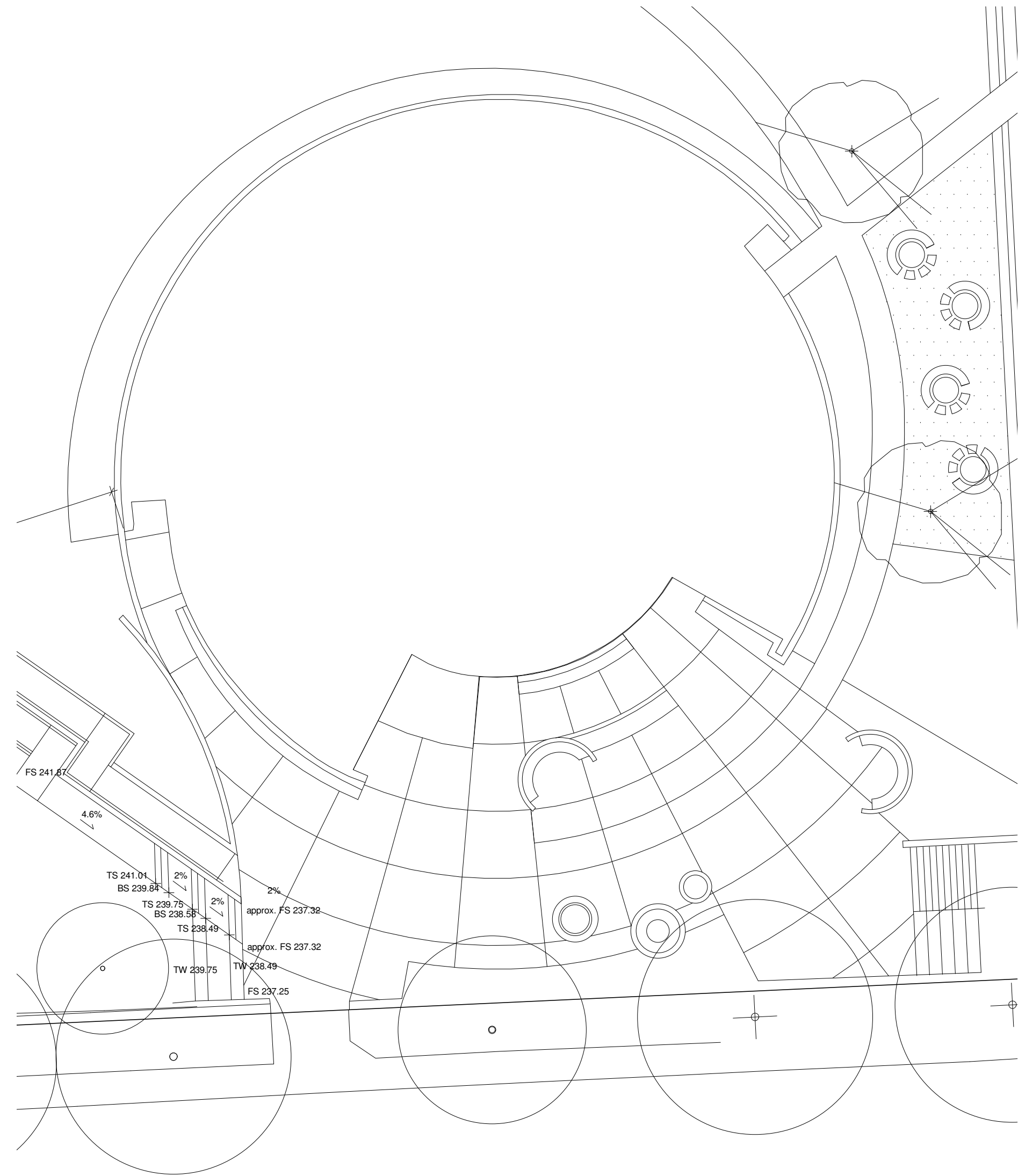
ADDENDUM NO. 1

PAGE 50 OF 67

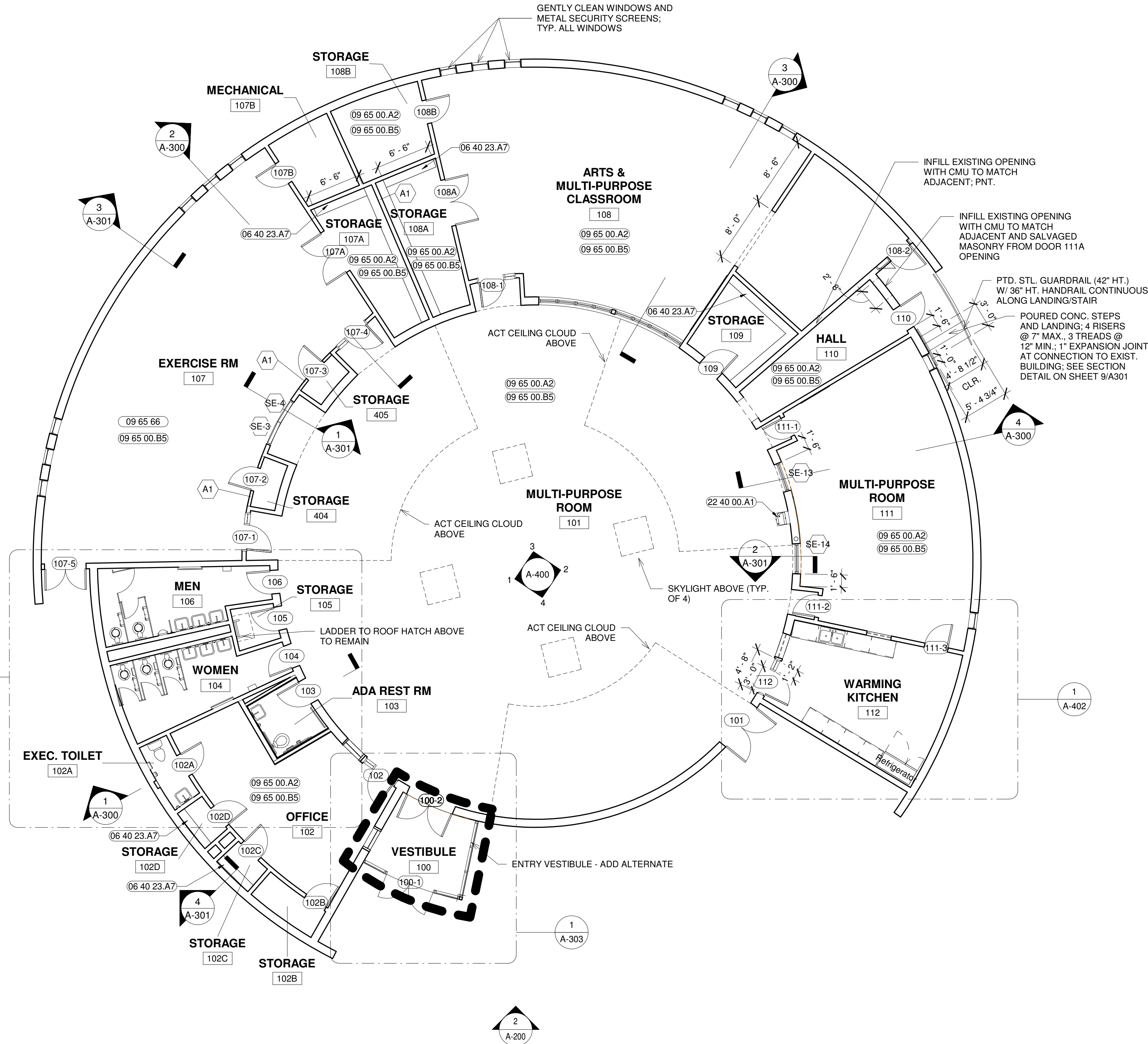
- GENERAL NOTES
1. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK FOR THIS PROJECT WITH ALL TRADES AND/OR WITH SUBCONTRACTORS AS TO ASSURE THE PROPER EXECUTION OF WORK.
 2. THE BUILDING OWNER SHALL APPLY AND PAY FOR THE BUILDING PERMIT. A COPY OF THE APPROVED PERMIT PLANS WILL REMAIN ON JOB SITE AT ALL TIMES.
 3. THE GENERAL CONTRACTOR SHALL SCHEDULE ALL NECESSARY INSPECTIONS AND ACQUIRE FINAL CERTIFICATE OF OCCUPANCY ON THE JOB SITE AT ALL TIMES.
 4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, AND ALL OTHER RESOURCES REQUIRED TO COMPLETE THE PROJECT.
 5. UNLESS OTHERWISE NOTED, ALL NEW MATERIALS SHALL MATCH EXISTING MATERIALS IN QUALITY, SIZE AND DESIGN.
 6. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE THE DRAWINGS AND CHECK ALL MEASUREMENTS AND DETAILS. CONTRACTOR AND SUBCONTRACTOR SHALL ALSO COMPARE THE PLANS WITH THE SPECIFICATIONS, AS ANY ITEM REQUIRED IN ONE OR THE OTHER, IF NOT DUPLICATED, SHALL IN ANY EVENT BE CONSTRUED TO BE PART OF BOTH.
 7. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AT THE BUILDING AS SHOWN ON THE DRAWINGS, AND THEY SHALL REPORT ANY INCONSISTENCIES IN THE ABOVE TO THE ARCHITECT BEFORE COMMENCING WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE DRAWINGS. ANY DIFFERENCES SHALL BE SUBMITTED TO THE ARCHITECT FOR DISCUSSION BEFORE PROCEEDING WITH THE WORK.
 8. THE CONTRACTOR SHALL PROVIDE ALL SHORING, NEEDLING, BRACING AND SHEATHING AS REQUIRED FOR SAFETY AND FOR THE PROPER EXECUTION OF HIS WORK AND HAVE SAME REMOVED WHEN THE WORK IS COMPLETED.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN-UP OF THE WORK AND DISPOSAL OF TRASH AND DEBRIS OFF THE PREMISES. ALL DEBRIS AND WASTE MATERIAL SHALL BE REMOVED FROM THE SITE AT THE END OF EACH WORKING DAY, UNLESS OTHERWISE DIRECTED BY THE ARCHITECT.
 10. THE GENERAL CONTRACTOR SHALL PERFORM A FINAL CLEANUP OF ALL NEW WORK PRIOR TO TURNING THE COMPLETED PROJECT OVER TO THE OWNER FOR OPERATIONAL USE, INCLUDING REMOVAL OF ALL MARKS, STAINS AND SOILS FROM SURFACES, REMOVAL OF ALL TEMPORARY PROTECTIONS, SCAFFOLDING, ETC., CLEAN ALL GLASS, MIRRORS, TILE AND FLOORS.
 11. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL SAFETY REGULATIONS GOVERNING DEMOLITION AND CONSTRUCTION OF THIS PROJECT.
 12. IT SHALL BE UNDERSTOOD THAT THE ARCHITECT'S DRAWINGS ARE PARTIALLY DIAGRAMMATIC AND THE MECHANICAL AND ELECTRICAL SUBCONTRACTORS SHALL WORK IN COOPERATION WITH THE GENERAL CONTRACTOR IN DETERMINING THE RUNNING OF PIPE LINES AND LOCATING EQUIPMENT. ANY NECESSARY VARIATIONS SHALL BE MADE TO CONFORM TO THE INTENT OF THE DIAGRAMMATIC DRAWINGS WITHOUT ADDITIONAL COSTS. WHERE THERE ARE INTERSECTIONS INVOLVING VARIOUS DUCTS, PIPING AND EQUIPMENT, PARTICULAR CONSIDERATION SHALL BE GIVEN TO CLEARANCES.
 13. THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS AND TO INSTALL CERTAIN EQUIPMENT IN THE BUILDING AT ANY TIME DURING CONSTRUCTION. THIS RIGHT SHALL NOT INTERFERE IN ANY WAY WITH THE CONTINUITY OF BUILDING CONSTRUCTION OR COMPLETION. THE OWNER SHALL INFORM THE CONTRACTOR PRIOR TO ANY WORK AND/OR INSTALLATION OF EQUIPMENT.
 14. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL GUARANTEES, WARRANTIES, OPERATION AND MAINTENANCE INSTRUCTIONS AND OTHER LITERATURE PROVIDED WITH ALL EQUIPMENT USED IN THE PROJECT.
 15. THE CONTRACTOR SHALL REPLACE ALL EXISTING FIRE EXTINGUISHERS WITH NEW CLASS A FIRE EXTINGUISHERS IN FULLY-RECESSED CABINETS. PROVIDE NEW CLASS A FIRE EXTINGUISHERS AS SHOWN IN LIFE SAFETY PLAN.

- GENERAL INTERIOR NOTES:
1. REPAINT ALL EXISTING CURRENTLY PAINTED AND NEWLY CREATED SURFACES (WALLS, DOORS, TRIM, ETC).
 2. ALL SURFACES TO BE PROPERLY PREPPED FOR NEW PAINT PER MANUFACTURER'S SPECIFICATIONS, INCLUDING SANDING AND PATCHING OF ALL CRACKS/HOLES IN CMU, ETC.
 3. PROVIDE ALL NECESSARY PROTECTION TO ENSURE THAT NO SURROUNDING MATERIALS ARE DAMAGED BY PAINT (I.E. LIGHT FIXTURES, FURNITURE, FLOORING, ETC).
 4. NEW 4" VINYL BASE THROUGHOUT (EXCEPT TOILET ROOMS OR WHERE NOTED).
 5. PRIOR TO COMMENCING FLOORING WORK, THE CONTRACTOR SHALL INSPECT SUBFLOOR AND SHALL NOTIFY ENGINEER IN WRITING OF ANY OBVIOUS DEFECTS OR CONDITIONS THAT WILL PREVENT A SATISFACTORY FLOOR INSTALLATION. WORK SHALL NOT PROCEED UNTIL SATISFACTORY CONDITIONS ARE PROVIDED.
 6. FLASH PATCHING OF THE EXISTING SLAB TO BE DONE TO LEVEL SLOPED AND/OR UNEVEN SURFACES. FLASH PATCH EXISTING CONCRETE SLAB SMOOTH AND LEVEL IN ALL LOCATIONS WHERE EXISTING WALLS WERE REMOVED.
 7. PATCH/REPAIR ALL WALLS AND CEILINGS WHERE EXISTING WALL OR ITEMS WERE REMOVED AS REQUIRED.
 8. PATCH ALL OPENINGS WHERE AN EXISTING FIXTURE, RECEPTACLE OUTLET, LIGHT SWITCH, OR OTHER ITEM WAS REMOVED.
 9. WHERE HOLES/CRACKS IN EXISTING MASONRY WALLS EXIST, REPLACE THE FACE SHELL SUFFICIENT TO MAKE MASONRY SUBSTANTIAL AND SECURE PRIOR TO PREP/PAINTING.
 10. ALL TILE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST PUBLISHED RECOMMENATIONS OF THE TILE COUNCIL OF AMERICA (TCA) AND THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)

KEYNOTE LEGEND	
TAG	DESCRIPTION
06 40 23.A7	ADJUSTABLE 12" DEEP WIRE SHELVING; 6'-0" TALL, MOUNTED TO WALL.
09 65 00.A2	VINYL COMPOSITION TILE FLOORING
09 65 00.B5	4" RESILIENT TOPSET BASE THROUGHOUT ROOM
09 65 66	RESILIENT ATHLETIC FLOORING
22 40 00.A1	ADA-COMPLIANT DRINKING FOUNTAIN



2 SITE PLAN (FOR REFERENCE ONLY - NOT IN CONTRACT)
1/16" = 1'-0"



1 NEW FLOOR PLAN
1/8" = 1'-0"

BALTIMORE CITY RECREATION & PARKS
**MARY E. RODMAN RECREATION
CENTER RENOVATION**
3600 W Mulberry St, Baltimore, MD 21229

Murphy & Dittenhafer
ARCHITECTS
228 West Market Street, York, Pennsylvania 17401
410-625-4823 voice 410-625-4874 fax

Mark	Date	Description
	3/29/2021	100% CONSTRUCTION DRAWINGS
	8/25/2021	100% CONSTRUCTION DRAWINGS

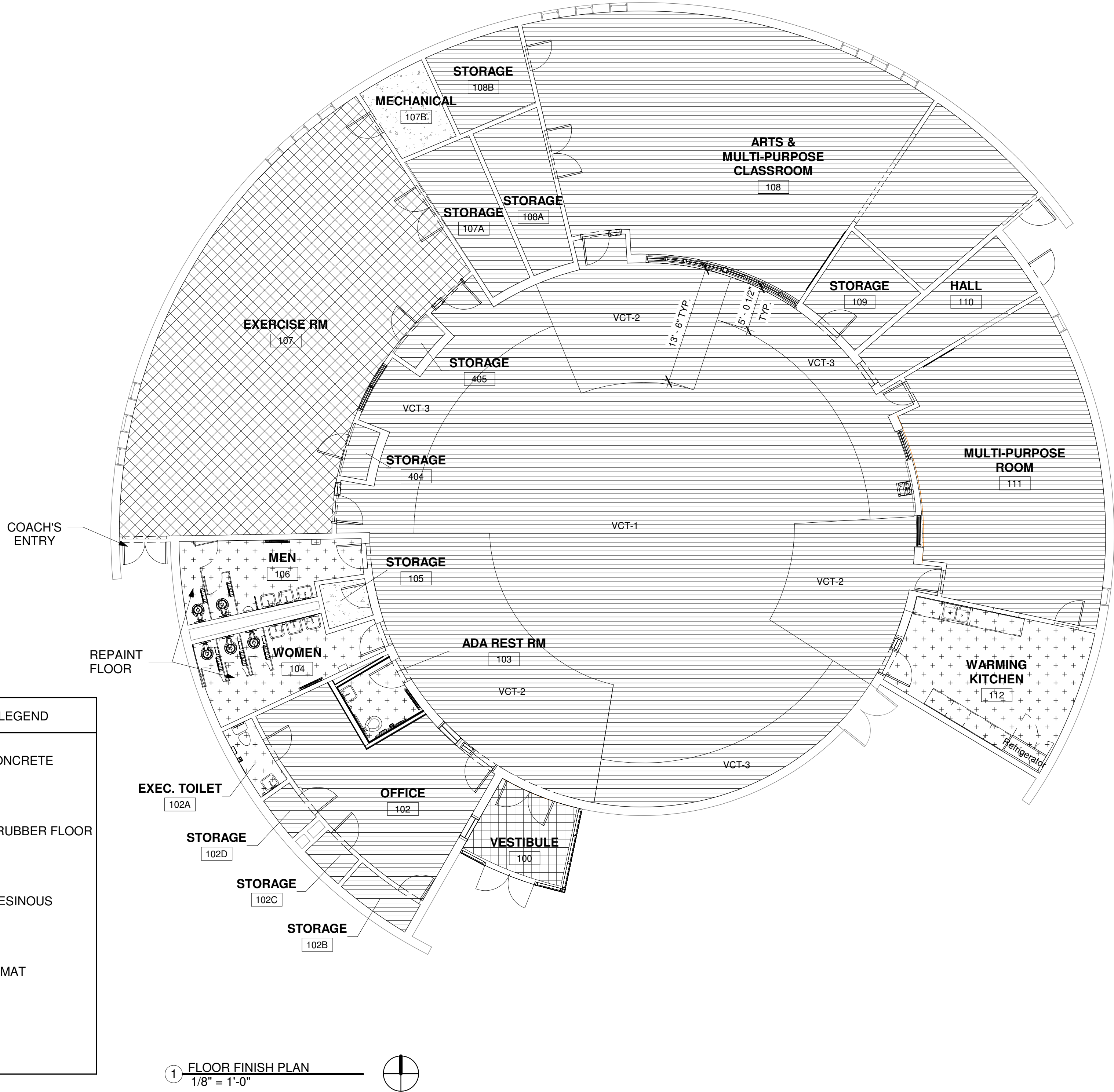
PROJECT NO: 20119
DRAWN BY: AWO
CHECKED BY: LMM

NEW FLOOR
PLAN

SHEET
A-101

ROOM FINISH SCHEDULE						
ROOM NUMBER	ROOM NAME	FLOOR	Base Finish	CEILING FINISH	WALLS	REMARKS
		FINISH			FINISH	
100	VESTIBULE	WALK OFF MAT	RB	ACT-1	PNT	
101	MULTI-PURPOSE ROOM	VCT-1, VCT-2, VCT-3	RB	ACT-1, ACT-2	PNT	
102	OFFICE	VCT	RB	ACT-1	PNT	
102A	EXEC. TOILET	POURED RESINOUS	POURED RESINOUS	GYP	PNT	
102B	STORAGE	VCT	RB	NONE	PNT	
102C	STORAGE	VCT	RB	NONE	PNT	
102D	STORAGE	VCT	RB	NONE	PNT	
103	ADA REST RM	POURED RESINOUS	POURED RESINOUS	GYP	CT, PNT GWB	SEE INTERIOR ELEVS
104	WOMEN	POURED RESINOUS	POURED RESINOUS	ACT-1	PNT	
105	STORAGE	SEALED CONC.	NONE	NONE	PNT	
106	MEN	POURED RESINOUS	POURED RESINOUS	ACT-1	PNT	
107	EXERCISE RM	RUBBER TILES	RUBBER	ACT-1	PNT	
107A	STORAGE	VCT	RB	ACT-1	PNT	
107B	MECHANICAL	SEALED CONC.	NONE	NONE	PNT	
108	ARTS & MULTI-PURPOSE CLASSROOM	VCT	RB	ACT-1	PNT	
108A	STORAGE	VCT	RB	ACT-1	PNT	
108B	STORAGE	VCT	RB	ACT-1	PNT	
109	STORAGE	VCT	RB	ACT-1	PNT	
110	HALL	VCT	RB	ACT-1	PNT	
110	STORAGE	SEALED CONC.	NONE	ACT-1	PNT	
111	MULTI-PURPOSE ROOM	VCT	RB	ACT-1	PNT	
112	WARMING KITCHEN	POURED RESINOUS	RB	ACT-1	PNT	
404	STORAGE	VCT	NONE	NONE	NONE	
405	STORAGE	VCT	NONE	NONE	NONE	

FINISH LEGEND:
VCT = VINYL COMPOSITION TILE
CONC. = CONCRETE
RB = RUBBER BASE
ACT = ACOUSTIC CEILING TILE
PNT = PAINT
CT = CERAMIC TILE
GWB = GYPSUM WALL BOARD



CEILING CLOUD LEGEND	
	SEALED CONCRETE
	ATHLETIC RUBBER FLOOR
	POURED RESINOUS
	WALK-OFF MAT
	VCT

BALTIMORE CITY RECREATION & PARKS
**MARY E. RODMAN RECREATION
CENTER RENOVATION**
3600 W Mulberry St, Baltimore, MD 21229

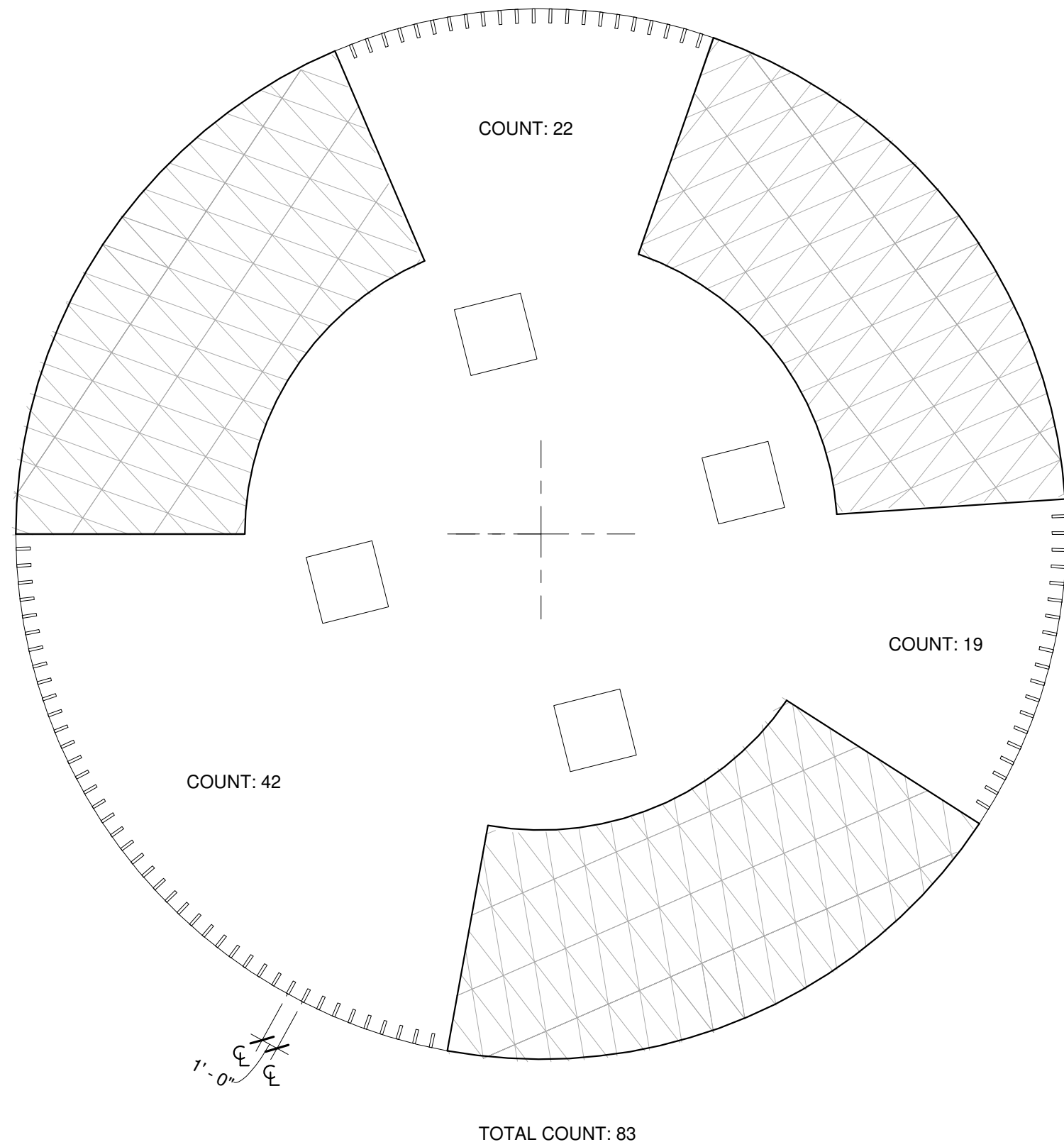
Murphy & Dittenhafer
ARCHITECTS
228 West Market Street, York, Pennsylvania 17401
410-625-4823 voice 410-625-4874 fax 717-643-3449 fax

Mark	Date	Description
	3/29/2021	100% CONSTRUCTION DRAWINGS
	8/25/2021	100% CONSTRUCTION DRAWINGS

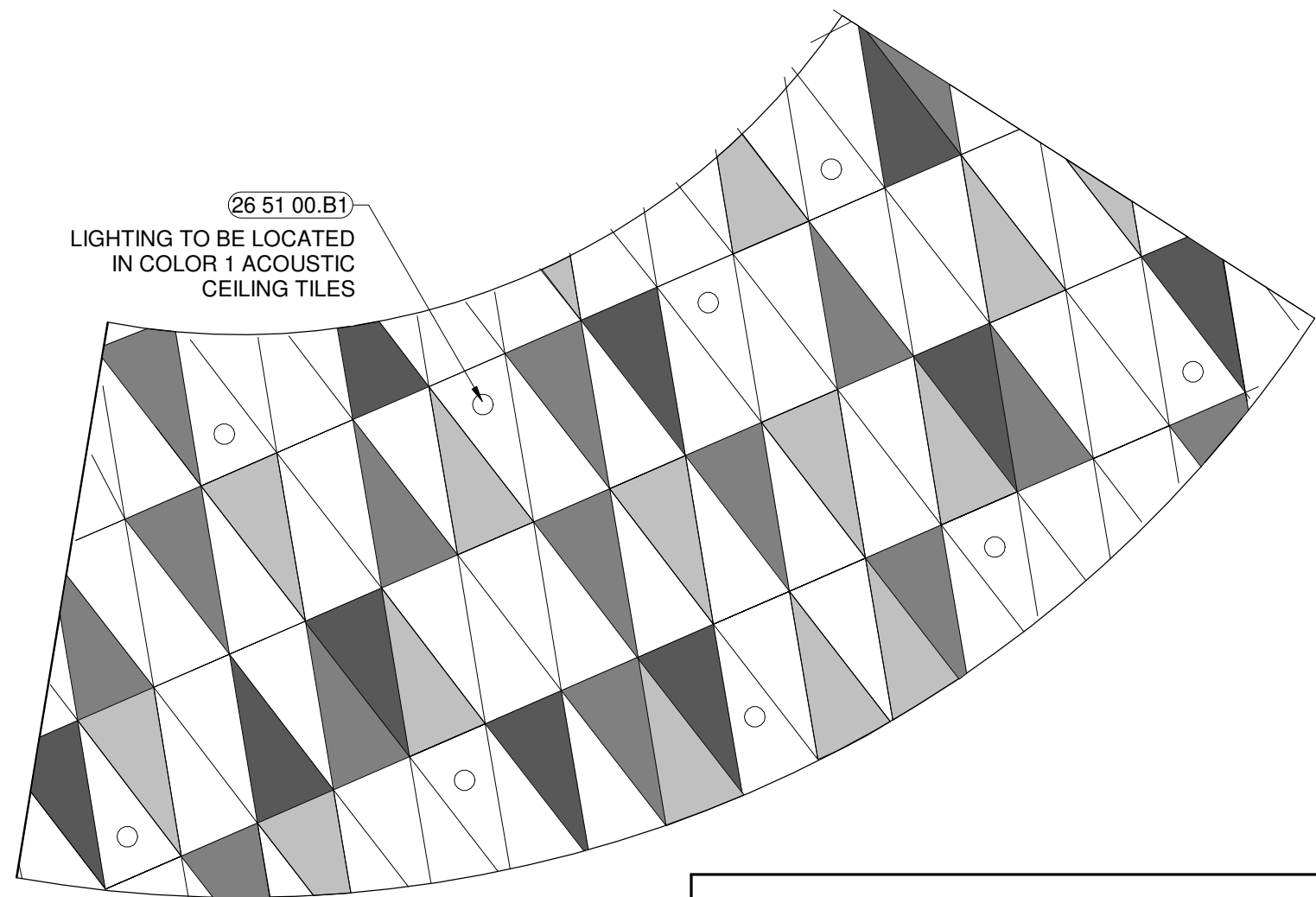
PROJECT NO: 20119
DRAWN BY: AWO
CHECKED BY: LMM





FINISH PLANS

SHEET
A-104

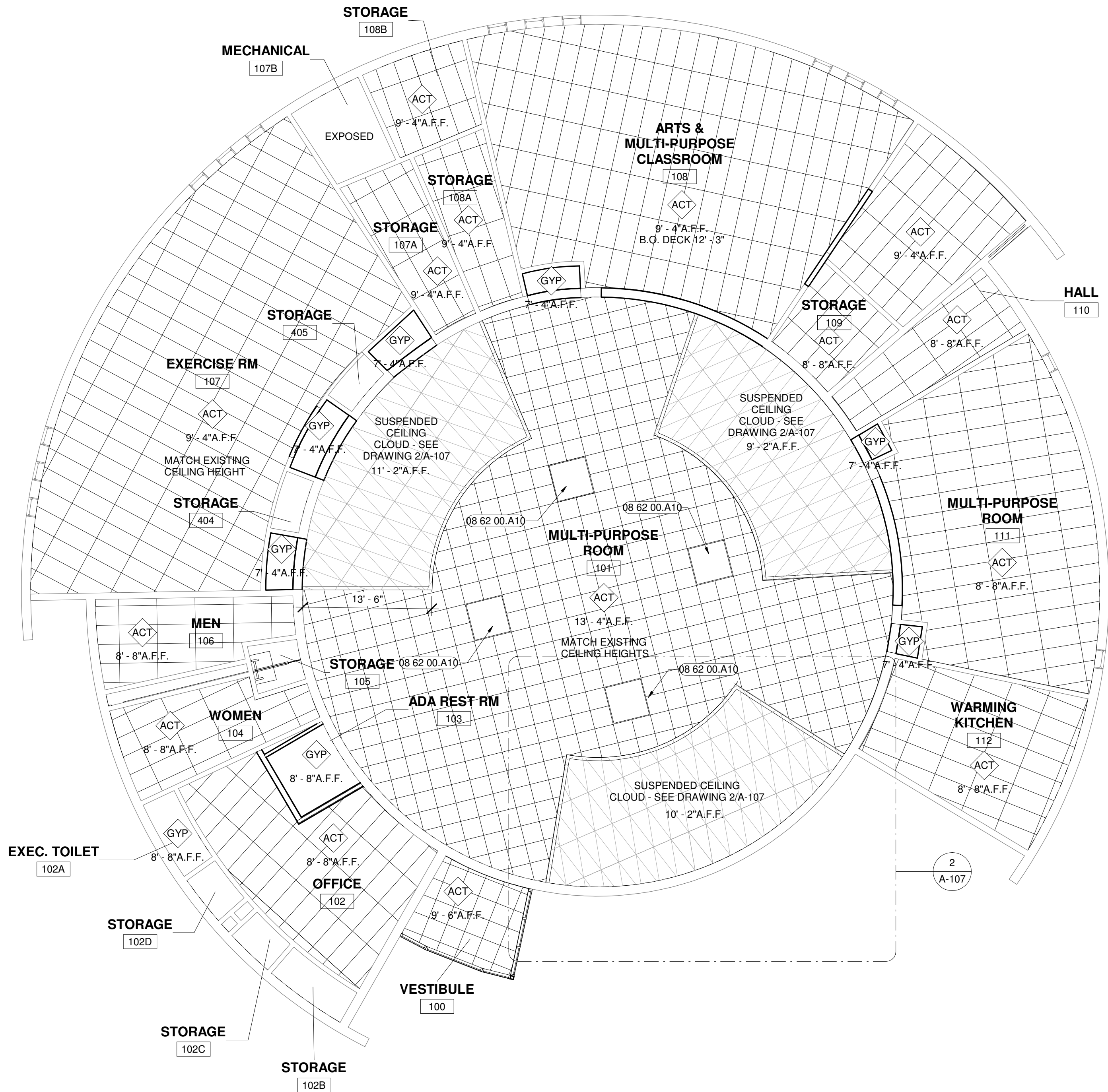


3 FIRST FLOOR REFLECTED CEILING PLAN - VERTICAL ACOUSTICAL WALL BLADES
1/8" = 1'-0"



CEILING CLOUD LEGEND			
	COLOR 1 - WHITE		COLOR 3 - TBD
	COLOR 2 - TBD		COLOR 4 - TBD

2 ACOUSTIC CEILING CLOUD TILE PATTERN TYP
1/4" = 1'-0"



1 FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"

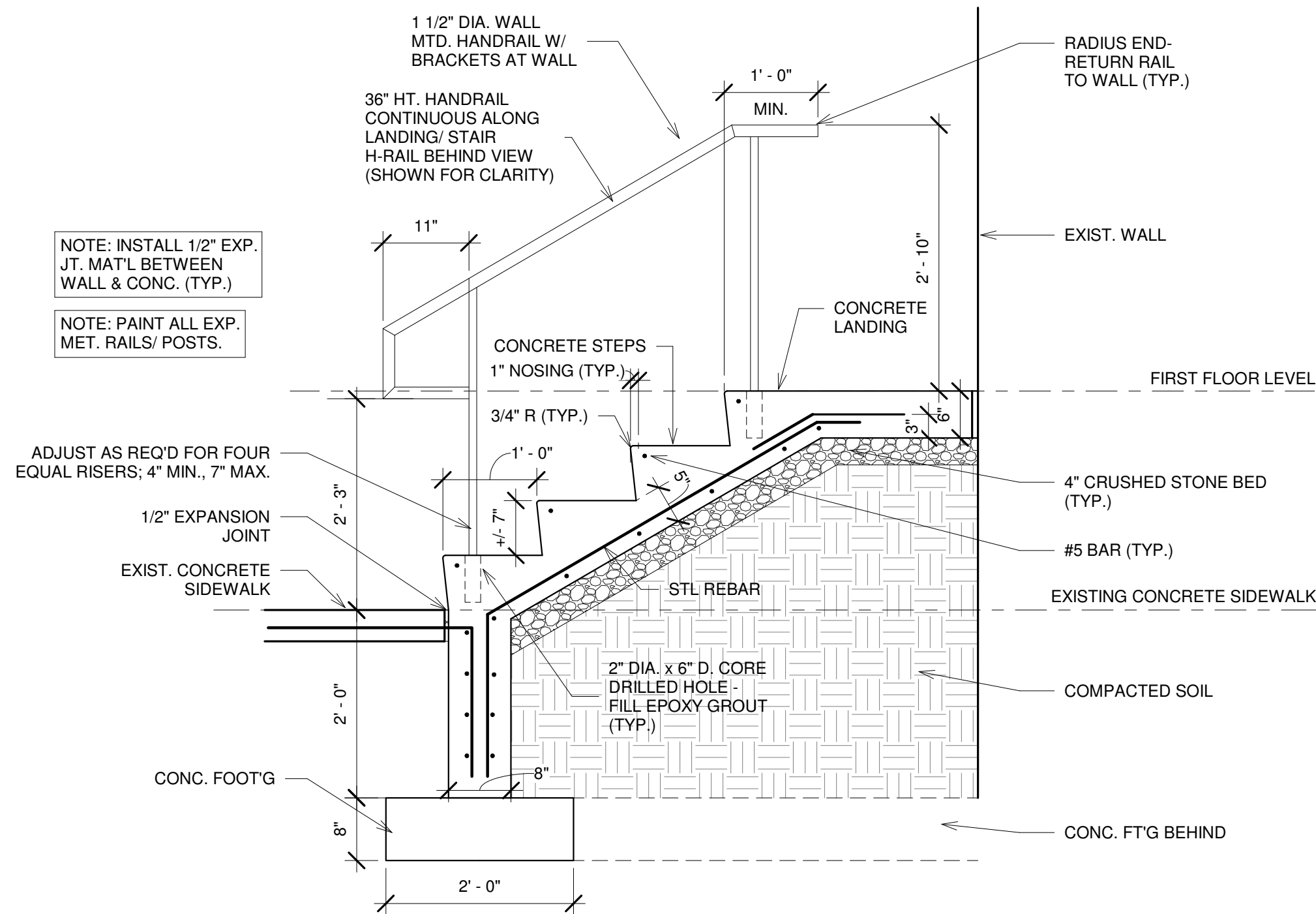
KEYNOTE LEGEND	
TAG	DESCRIPTION
08 62 00.A10	48" DOUBLE GLAZED DOME SKYLIGHT; CONTRACTOR TO VERIFY DIMENSIONS IN FIELD
26 51 00.B1	RECESSED DOWNLIGHT, SEE ELECTRICAL DWGS.

Mark	Date	Description
	3/29/2021	100% CONSTRUCTION DRAWINGS
	8/25/2021	100% CONSTRUCTION DRAWINGS

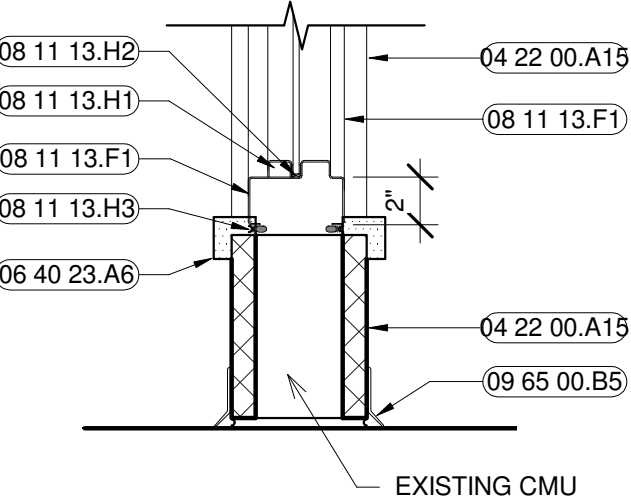
PROJECT NO:	20119
DRAWN BY:	AWO
CHECKED BY:	LMM

REFLECTED
CEILING PLAN

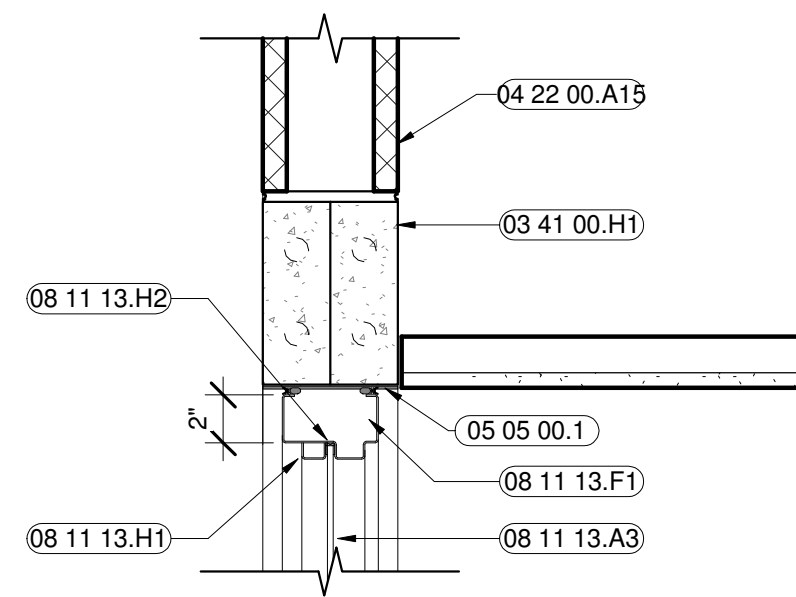
SHEET
A-107



9 CONCRETE STAIR DETAIL
3/4" = 1'-0"

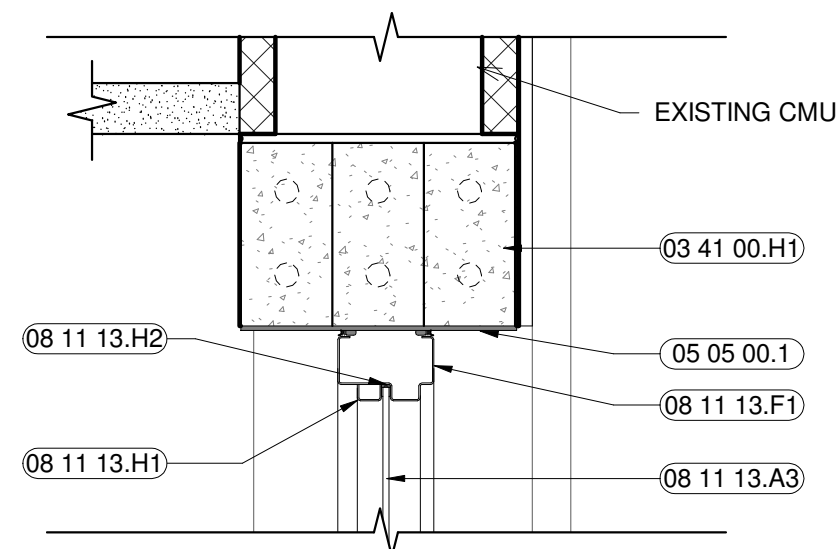


8 WALL SECTION 3 - Callout 2
1 1/2" = 1'-0"

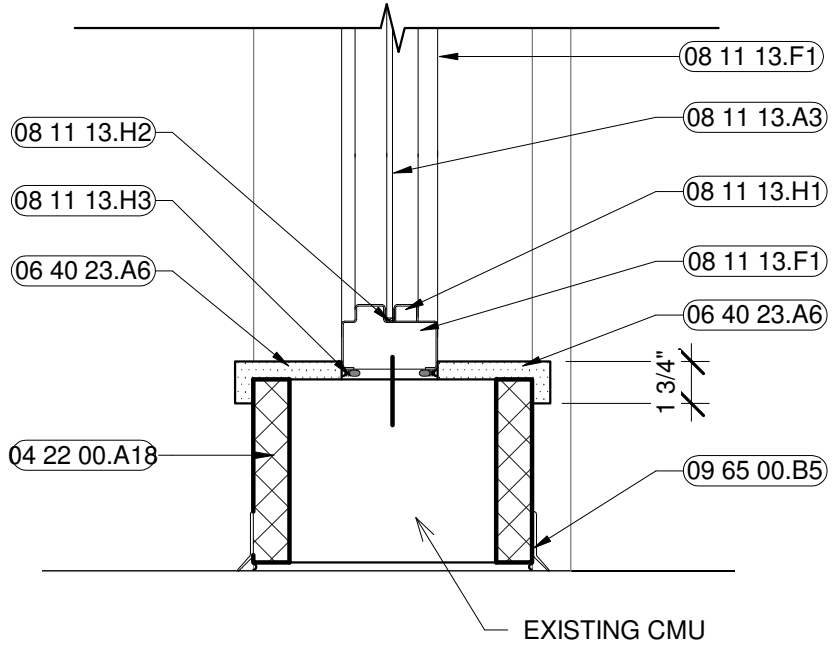


7 WALL SECTION 3 - Callout 1
1 1/2" = 1'-0"

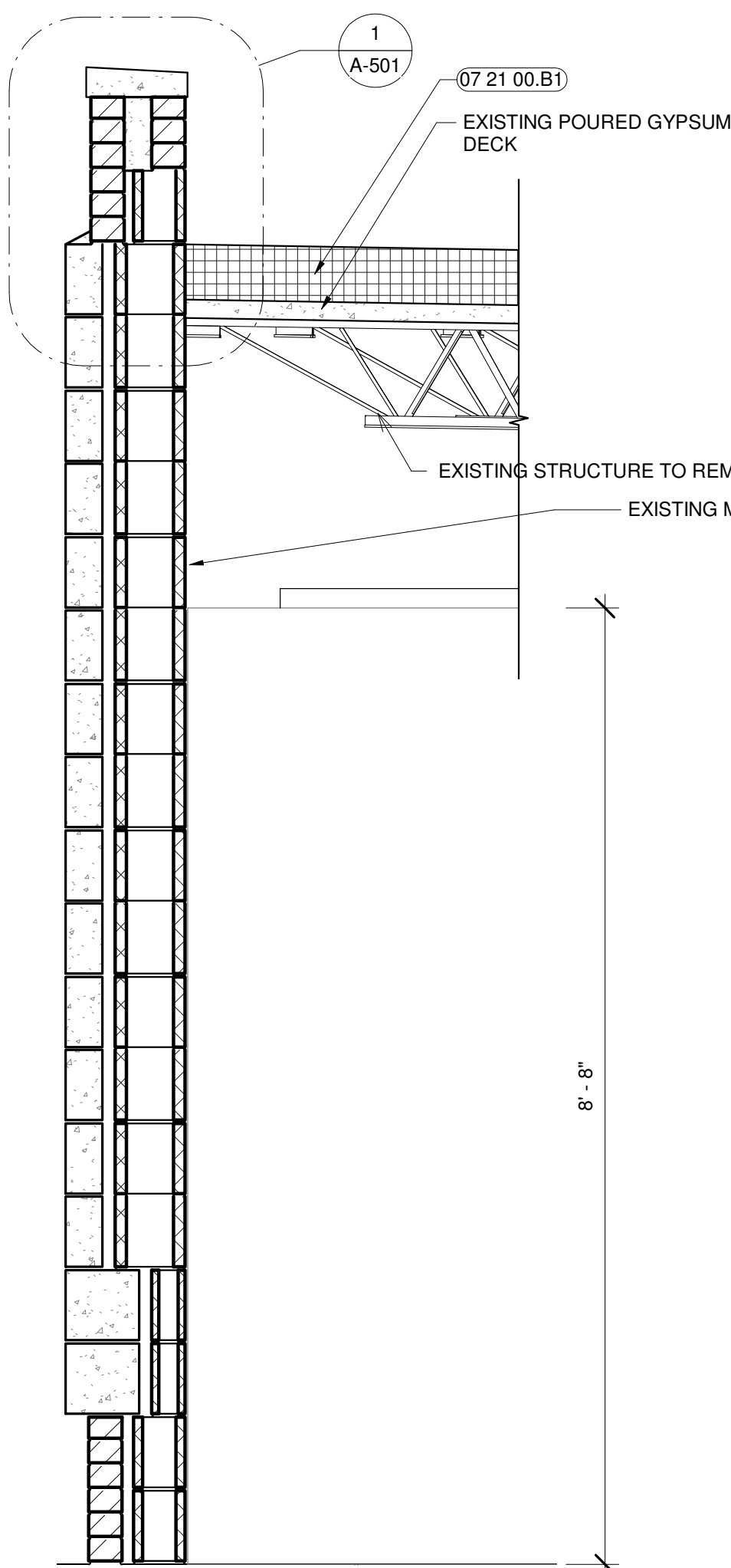
KEYNOTE LEGEND	
TAG	DESCRIPTION
03 41 00.H1	PRECAST CONCRETE LINTEL, SEE STRUCTURAL DWGS
04 22 00.A15	6" X 8" X 16" CMU - 2 CORE
04 22 00.A18	12" X 8" X 16" CMU - 2 CORE
05 05 00.1	STEEL LINTEL - SEE STRUCTURAL DWGS
06 40 23.A6	SOLID SURFACE SILL
07 21 00.B1	6" RIGID INSULATION (R-30)
08 11 13.A3	FIXED GLASS CENTERED IN HOLLOW METAL FRAME
08 11 13.F1	4" HM MULLION
08 11 13.H1	GLAZING BEAD
08 11 13.H2	GLAZING TAPE
08 11 13.H3	1/4" JOINT SEALANT AND BACKER ROD
09 51 23.A1	2X4 (24" X 48") LAY-IN ACOUSTICAL TILE CEILING
09 65 00.B5	4" RESILIENT TOPSET BASE THROUGHOUT ROOM



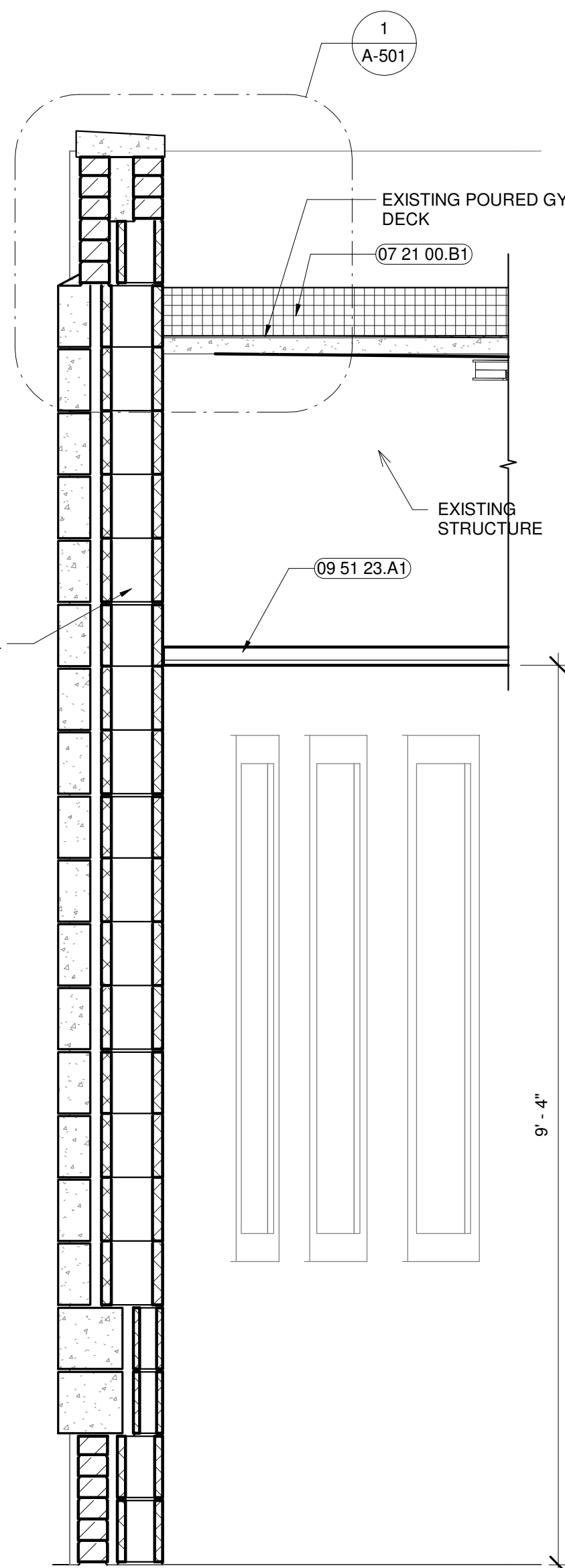
6 WALL SECTION 4 - Callout 2
1 1/2" = 1'-0"



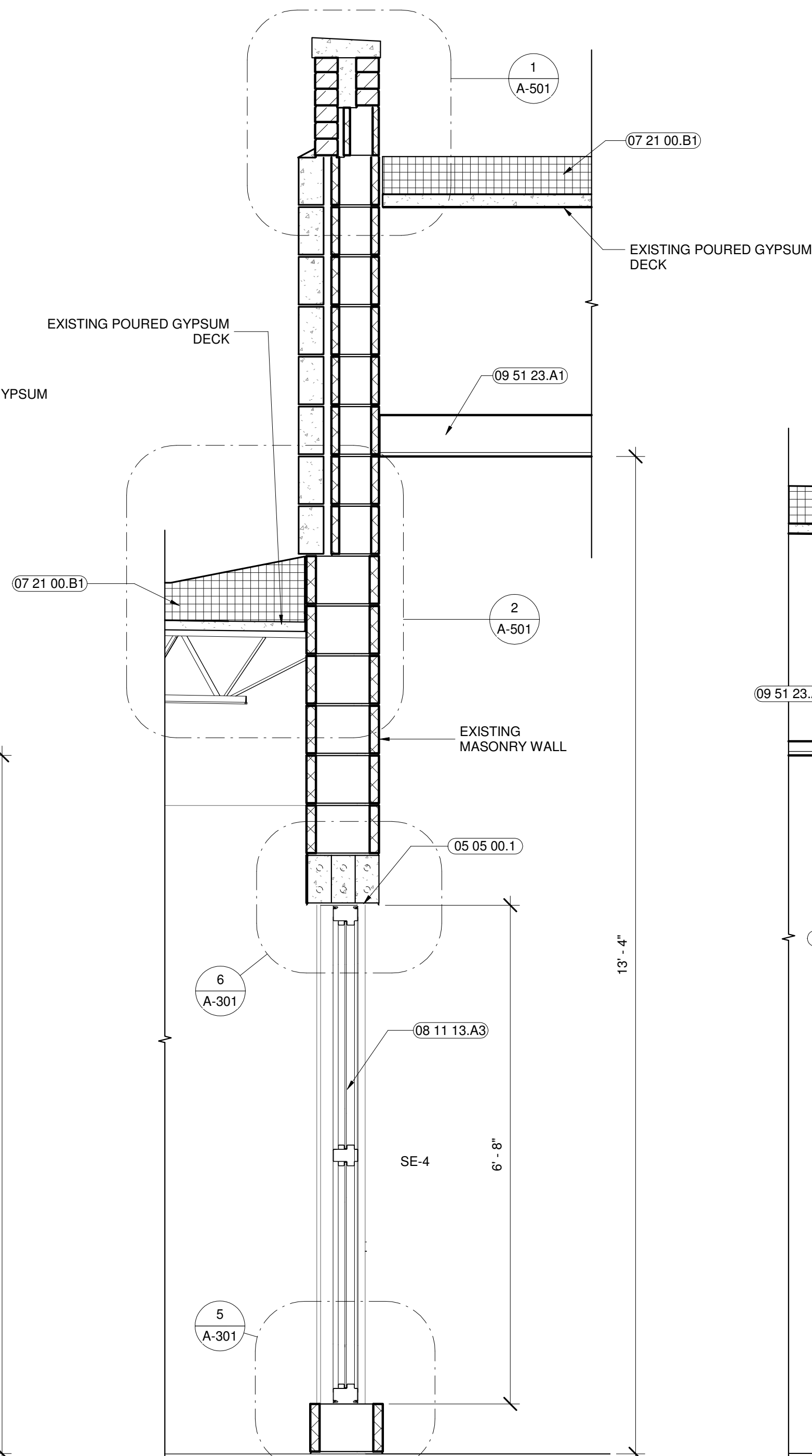
5 WALL SECTION 4 - Callout 1
1 1/2" = 1'-0"



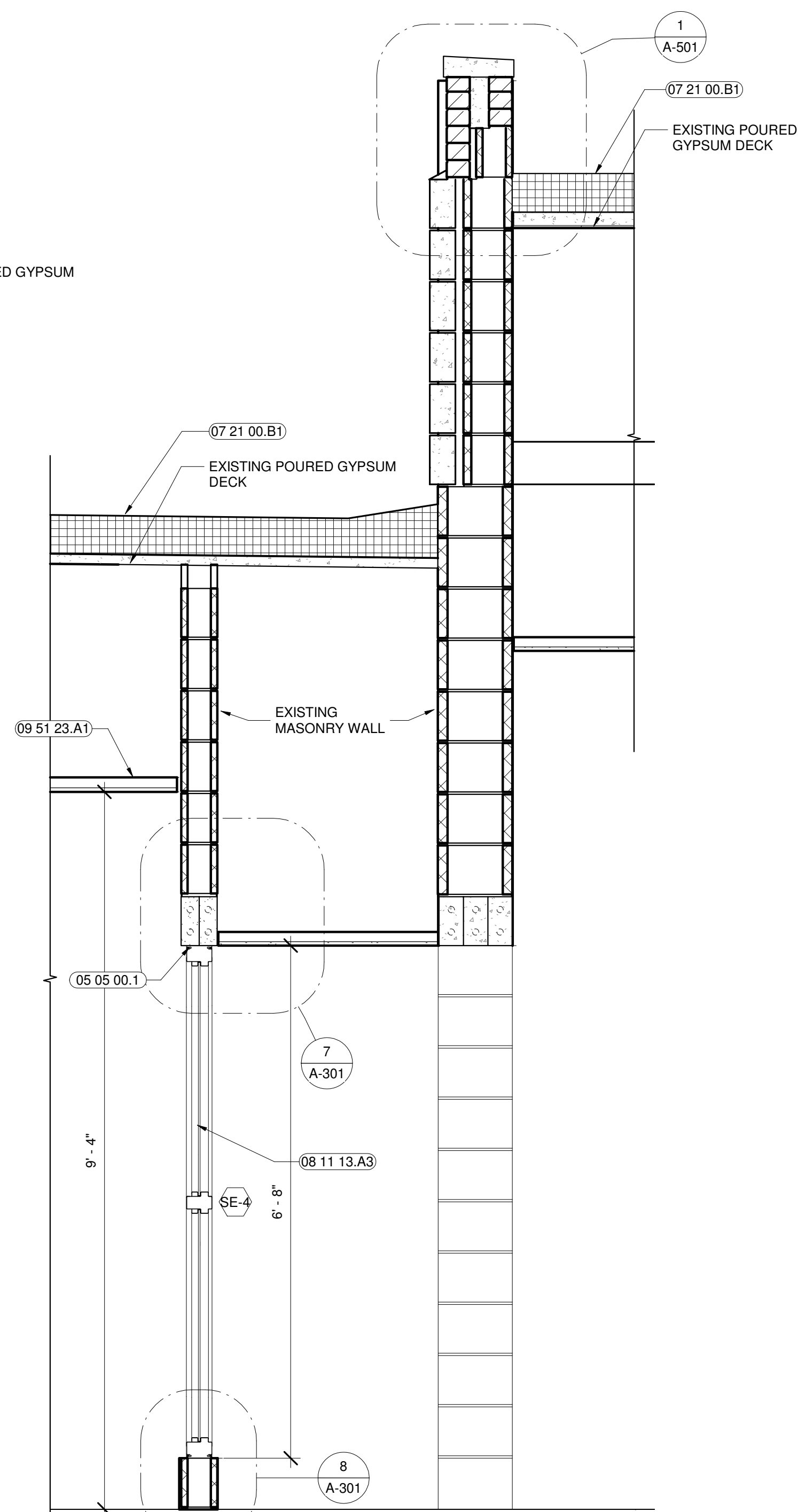
4 WALL SECTION 2
3/4" = 1'-0"



3 WALL SECTION 1
3/4" = 1'-0"



2 WALL SECTION 4
3/4" = 1'-0"



1 WALL SECTION 3
3/4" = 1'-0"

BALTIMORE CITY RECREATION & PARKS
**MARY E. RODMAN RECREATION
 CENTER RENOVATION**
 3600 W Mulberry St, Baltimore, MD 21229

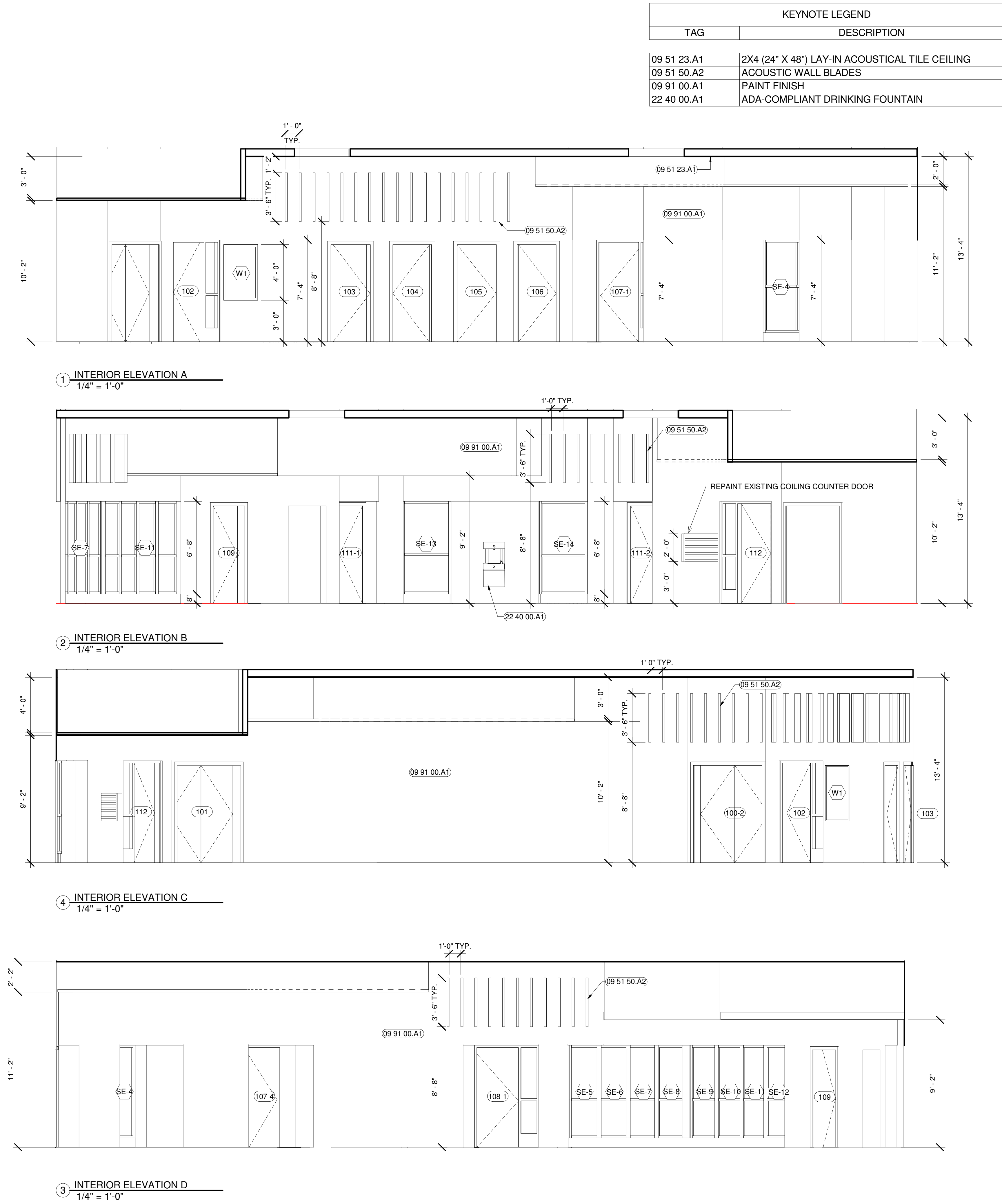
Murphy & Dittenhafer
 ARCHITECTS
 228 West Market Street, York, Pennsylvania 17401
 410-625-4823 voice 410-625-4874 fax

Mark	Date	Description
	3/29/2021	100% CONSTRUCTION DRAWINGS
	8/25/2021	100% CONSTRUCTION DRAWINGS

PROJECT NO: 20119
 DRAWN BY: AWO
 CHECKED BY: LMM

WALL
 SECTIONS

SHEET
A-301



KEYNOTE LEGEND	
TAG	DESCRIPTION
09 51 23.A1	2X4 (24" X 48") LAY-IN ACOUSTICAL TILE CEILING
09 51 50.A2	ACOUSTIC WALL BLADES
09 91 00.A1	PAINT FINISH
22 40 00.A1	ADA-COMPLIANT DRINKING FOUNTAIN

BALTIMORE CITY RECREATION & PARKS
**MARY E. RODMAN RECREATION
CENTER RENOVATION**
3600 W Mulberry St, Baltimore, MD 21229

Murphy & Dittenhafer
A R C H I T E C T S
805 North Charles Street, Baltimore, Maryland 21201
410-625-4823 voice 410-625-4874 fax
228 West Market Street, York, Pennsylvania 17401
717-848-8827 voice 717-843-3449 fax

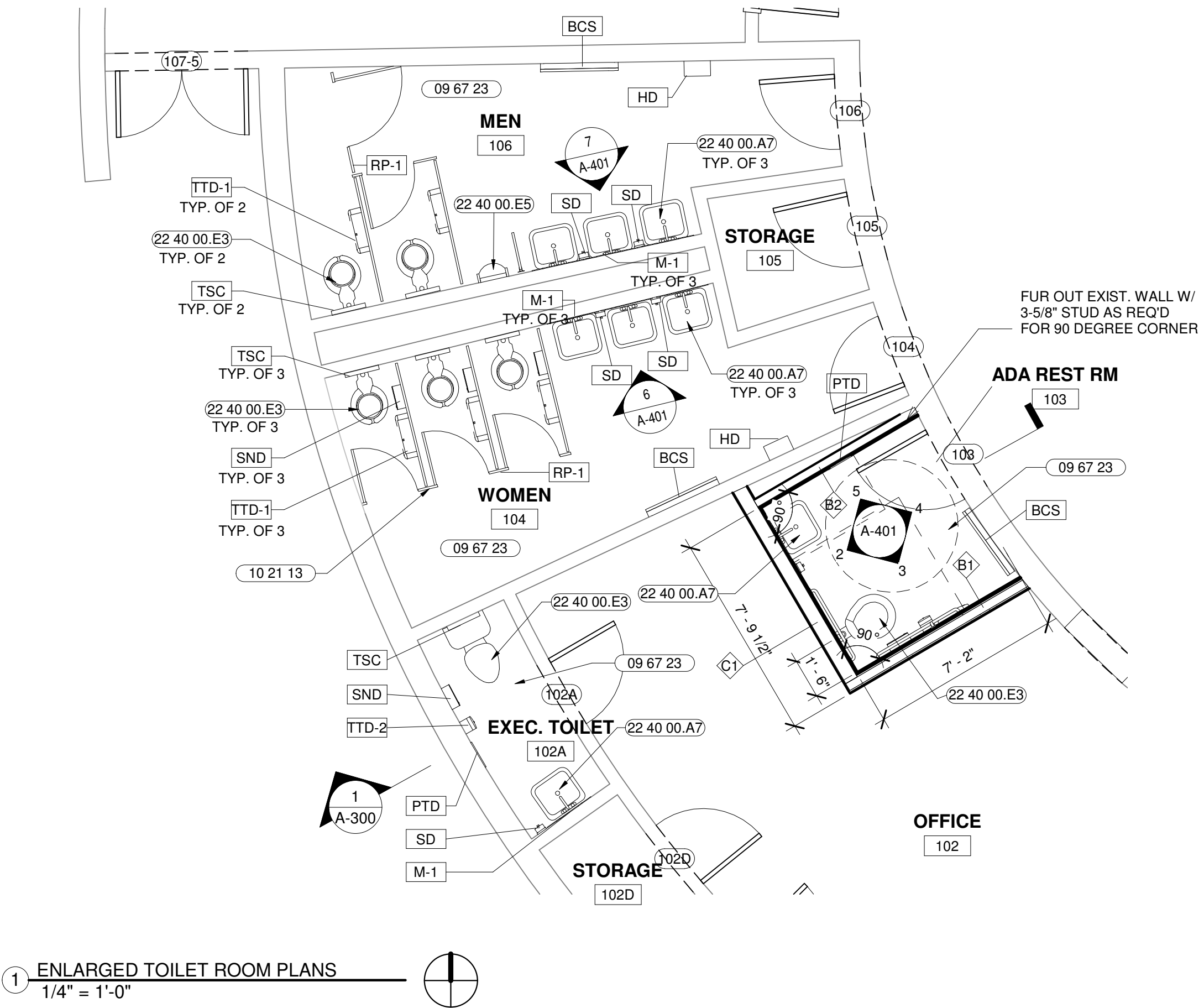
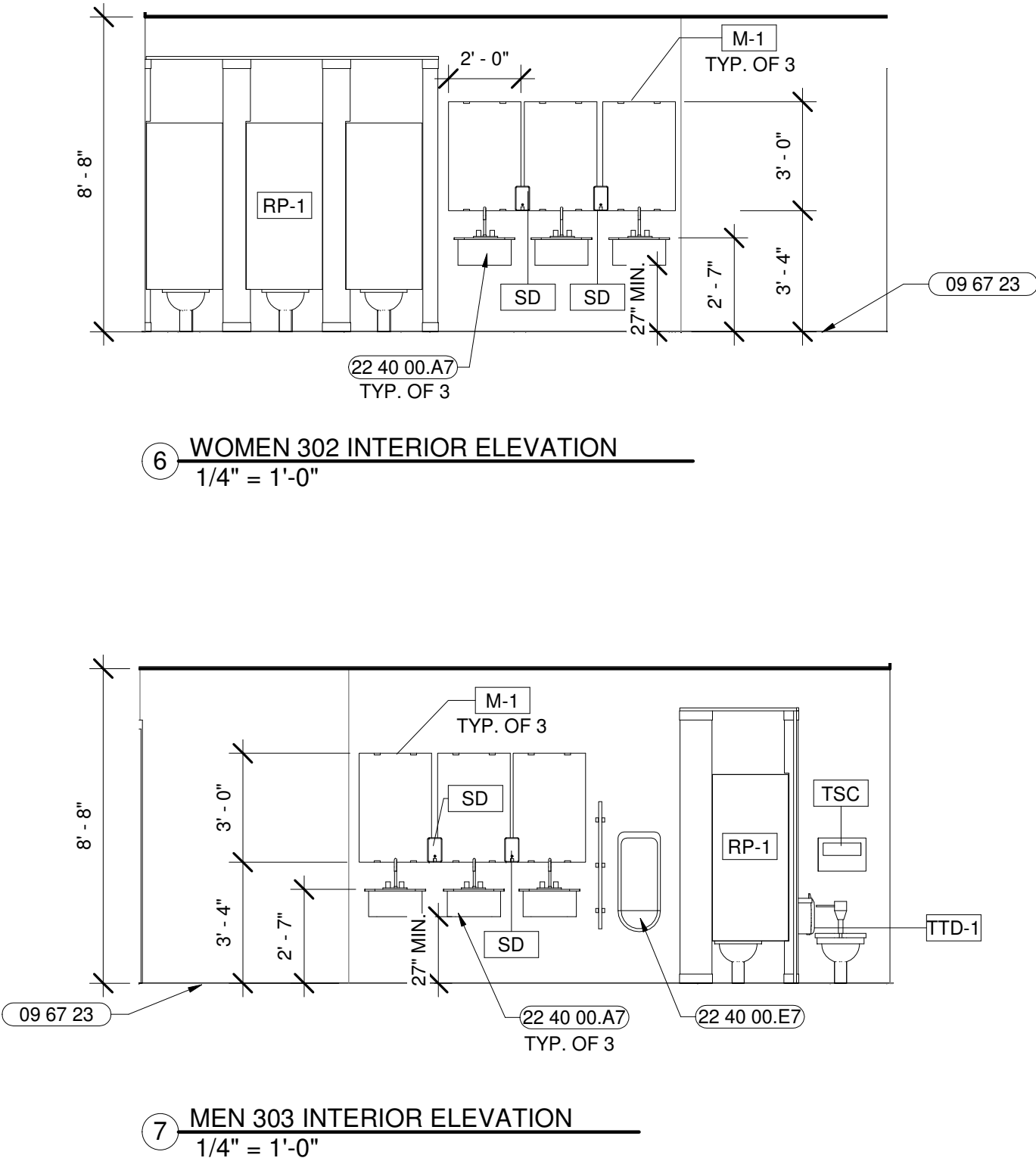
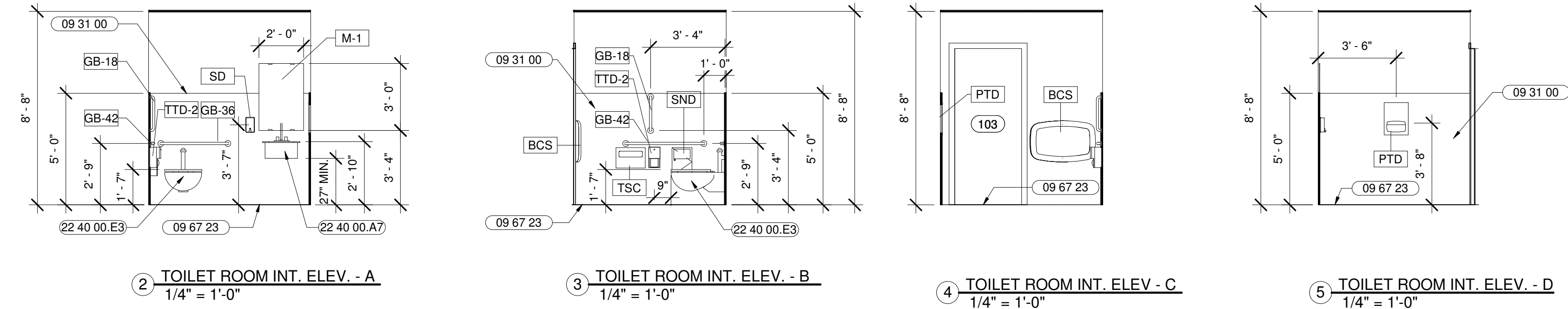
Mark	Date	Description
	3/29/2021	100% CONSTRUCTION DRAWINGS
	8/25/2021	100% CONSTRUCTION DRAWINGS

PROJECT NO: 20119
DRAWN BY: AWO
CHECKED BY: LMM

INTERIOR
ELEVATIONS
MULTI-PURPOSE
ROOM
A-400

TOILET ACCESSORIES SCHEDULE			
MARK	DESCRIPTION	MOUNTING HEIGHT	POWER
BCS	Bobrick Horizontal Baby Changing Station - Koala Kare KB200-00	34" MAX TO TOP OF WORK SURFACE	
GB-18	18" Grab Bar	37" TO TOP	
GB-36	36" Grab Bar	40" MAX TO BOTTOM	
GB-42	42" Grab Bar	34" TO BOTTOM	
HD	XLERATOR Hand Dryer	36" TO BOTTOM	ELECTRIC
M-1	Frameless Mirror, Clip Fasteners, 24 by 36 inches	40" MAX TO EDGE OF REFLECTIVE SURFACE3	
PTD	Paper Towel Dispenser	44"	
RP-1	Restroom Partitions, Floor-Mounted with Overhead Brace		
SD	Bobrick B-2111 Classic Series Surface Mounted Soap Dispenser	43" MAX	
SND	Bobrick B-254 Surface Mounted Sanitary Napkin Disposal	27" TO TOP	
TSC	Bobrick B-221 Classic Series Surface Mounted Seat Cover Dispenser	48"	
TTD-1	Bobrick B-2892 Classic Series Surface Mounted Twin Jumbo-Roll Toilet Tissue Dispenser	21" TO BOTTOM	
TTD-2	Bobrick B-4288 Contura Series Surface Mounted Multi-roll Toilet Tissue Dispenser	21" TO BOTTOM	

KEYNOTE LEGEND	
TAG	DESCRIPTION
09 31 00	CERAMIC WALL TILE
09 67 23	POURED RESINOUS FLOORING AND INTEGRAL BASE
10 21 13	TOILET COMPARTMENTS
22 40 00.A7	WALL MOUNT SINK
22 40 00.E3	TOILET
22 40 00.E5	URINAL
22 40 00.E7	WALL MOUNT URINAL



BALTIMORE CITY RECREATION & PARKS
MARY E. RODMAN RECREATION
CENTER RENOVATION
3600 W Mulberry St, Baltimore, MD 21229

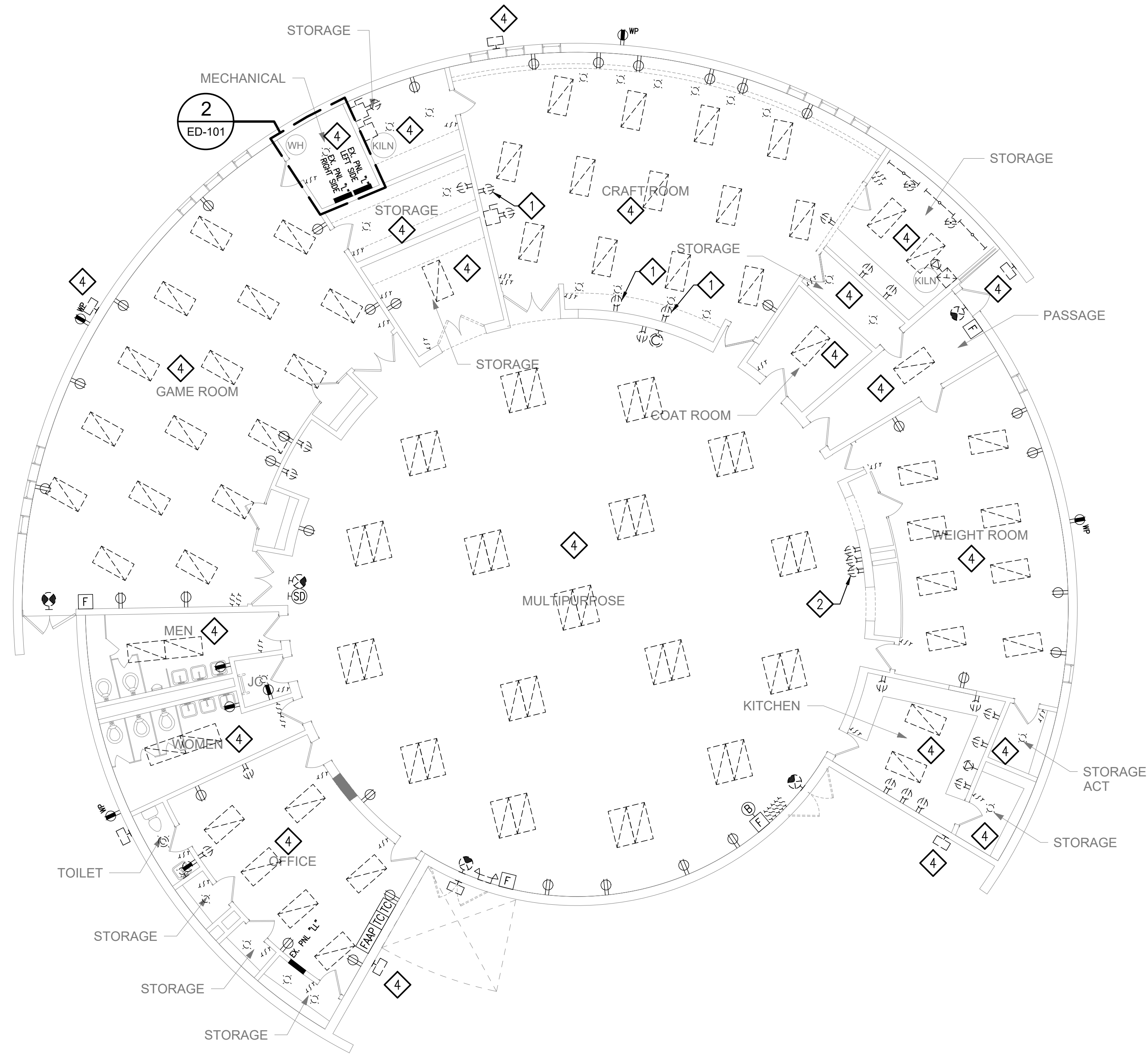
Murphy & Dittenhafer
ARCHITECTS
805 North Charles Street, Baltimore, Maryland 21201
410-625-4823 voice 410-625-4874 fax

Mark	Date	Description
	3/29/2021	100% CONSTRUCTION DRAWINGS
	8/25/2021	100% CONSTRUCTION DRAWINGS

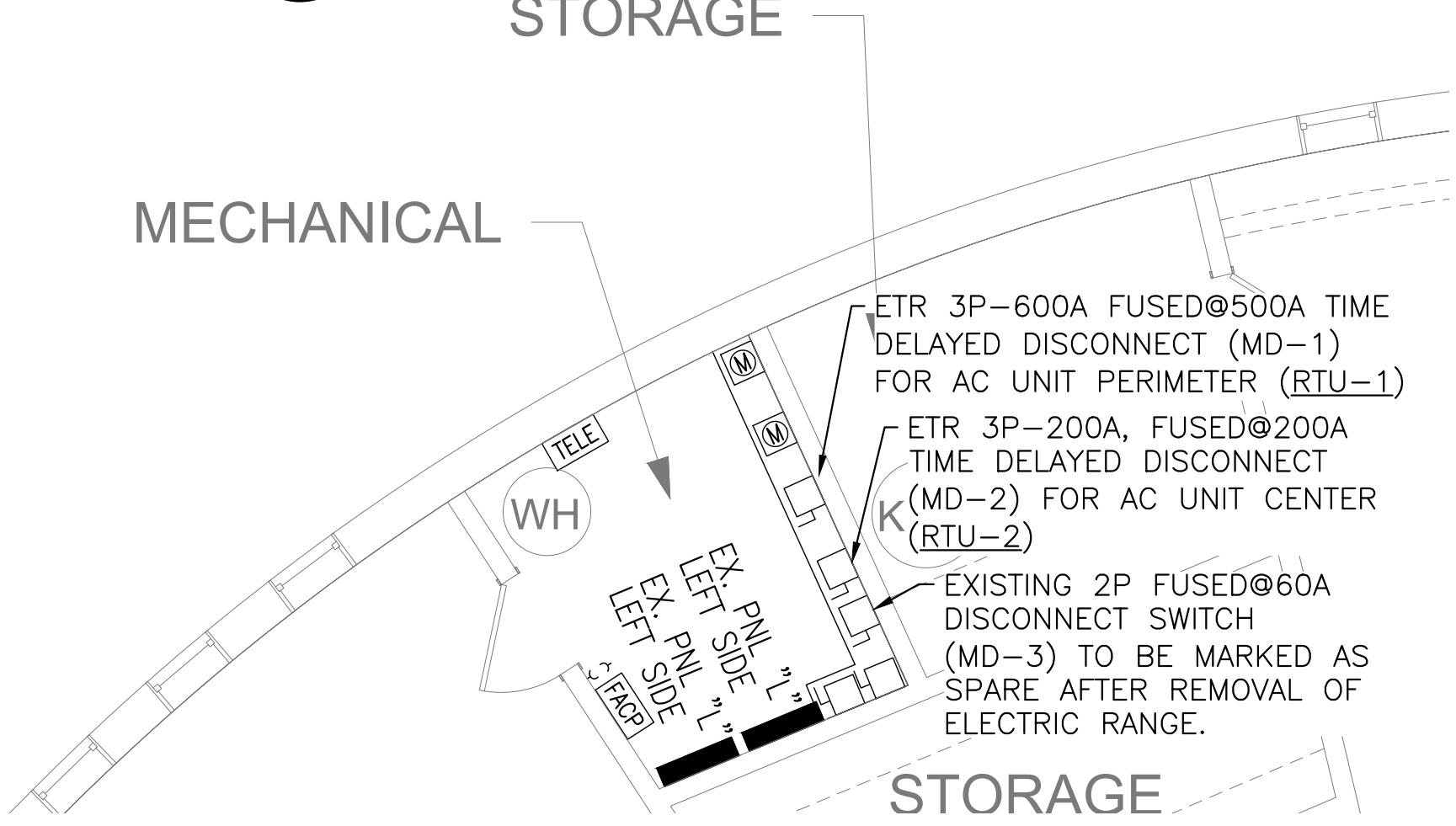
PROJECT NO: 20119
DRAWN BY: AWO
CHECKED BY: LMM

TOILET ROOM
PLANS AND
ELEVATIONS

SHEET
A-401



1 ELECTRICAL DEMOLITION PLAN
ED-101 SCALE: 1/8" = 1'-0"



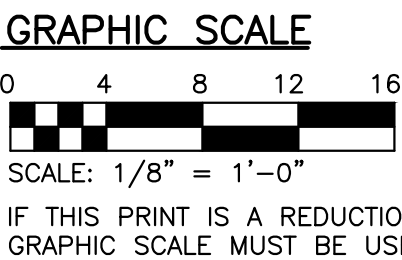
2 ENLARGED ELECTRICAL PLAN - MECHANICAL ROOM (EXISTING CONDITIONS)
ED-101 SCALE: 1/4" = 1'-0"

GENERAL NOTES

- 1. SEE ELECTRICAL COVER SHEET FOR SYMBOLS, CONVENTIONS, ABBREVIATIONS, GENERAL NOTES, AND TYPICAL ELEVATIONS.
- 2. ALL CIRCUIT BREAKERS RENDERED UNUSED BY DEMOLITION SHALL BE MARKED "SPARE".

DEMOLITION WORK NOTES

- 1 MAINTAIN CIRCUIT OF REMOVED RECEPTACLE FOR RECONNECTION TO NEW/RELOCATED RECEPTACLE LOCATION. EXTEND CIRCUIT AS NECESSARY.
- 2 REMOVE RECEPTACLE. MAINTAIN CIRCUIT FOR COORDINATION WITH REPLACEMENT WATER COOLER.
- 3 ALL RECEPTACLES EXISTING TO REMAIN SHALL BE REPLACED WITH NEW TAMPER-PROOF RECEPTACLES AND NEW STAINLESS STEEL DEVICE PLATES. RECEPTACLES IN BATHROOMS, COUNTERS, AND WITHIN 6' OF SINK SHALL BE REPLACED WITH TAMPER-PROOF GFCI RECEPTACLES.
- 4 ALL EXISTING LIGHTING TO BE REMOVED, AND ALL ASSOCIATED CIRCUITRY TO BE DEMOLISHED BACK TO PANEL BOARD IN PREPARATION FOR NEW LIGHTING.

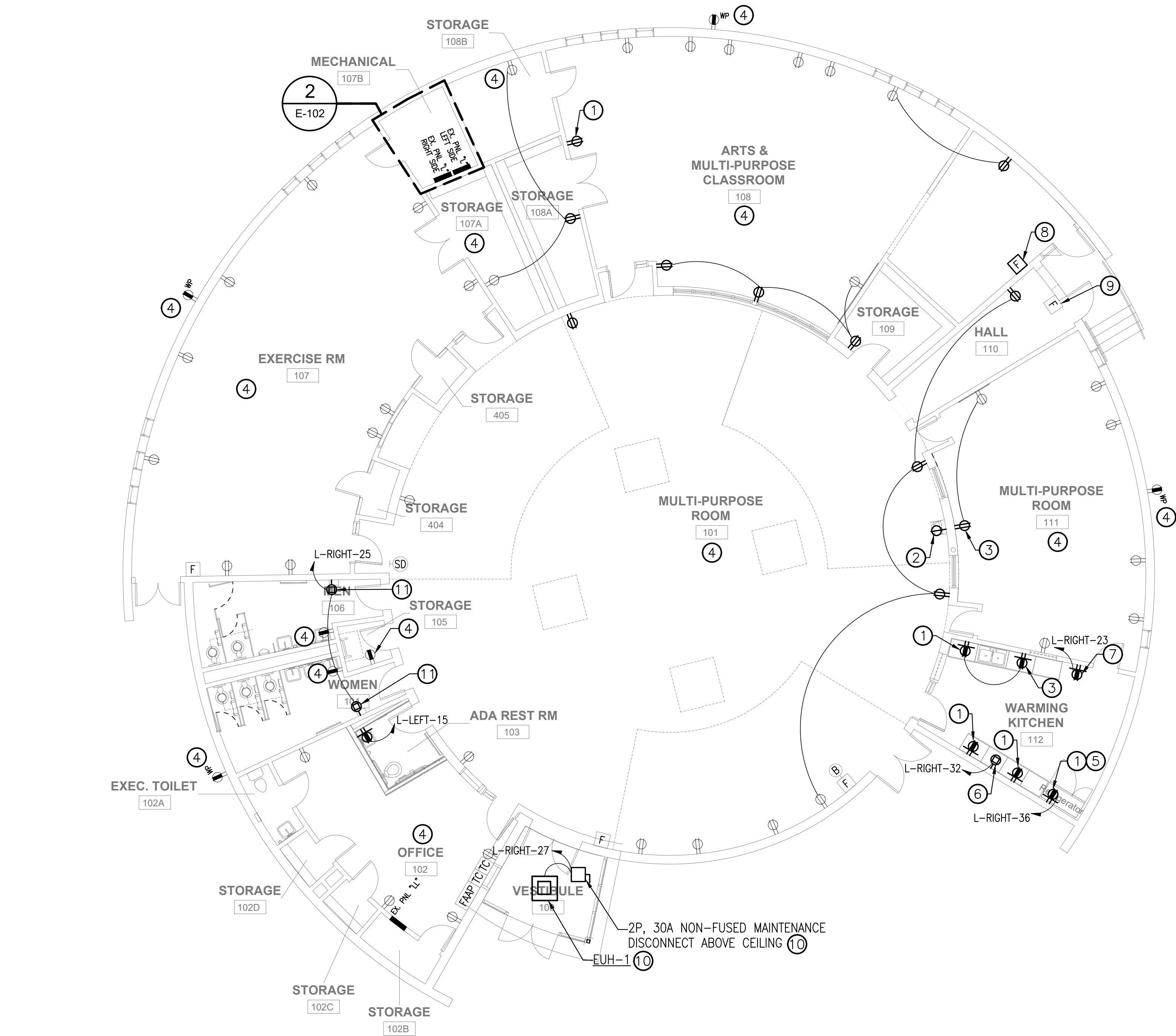


BALTIMORE CITY RECREATION & PARKS
MARY E. RODMAN RECREATION CENTER RENOVATION
3600 W Mulberry St, Baltimore, MD 21229

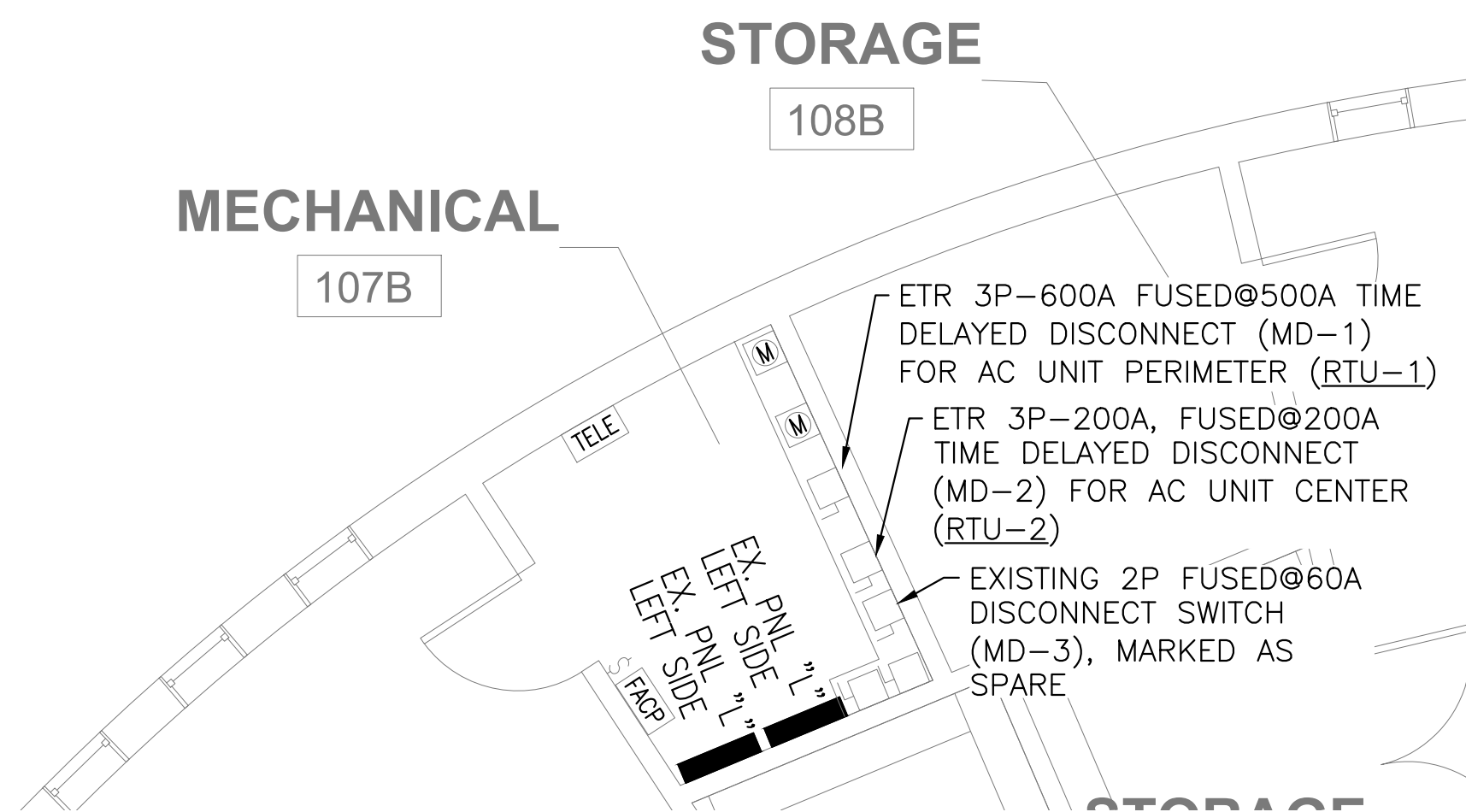
Murphy & Dittenhafer
ARCHITECTS
228 West Market Street, York, Pennsylvania 17401
410-635-4823 voice 410-635-4874 fax 717-543-2449 fax

Mark	Date	Description
	03/29/21	100% CONSTRUCTION DRAWINGS
	08/24/21	100% CONSTRUCTION DRAWINGS

PROJECT NO: 20119
DRAWN BY: MAH
CHECKED BY: KS
ELECTRICAL DEMOLITION PLAN
SHEET
ED-101



1 ELECTRICAL POWER NEW WORK
E-102 SCALE: 1/8" = 1'-0"



2 ENLARGED ELECTRICAL
PLAN - MECHANICAL ROOM
E-102 SCALE: 1/4" = 1'-0"

GENERAL NOTES

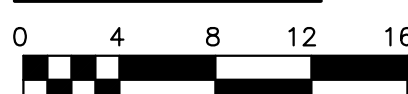
- SEE ELECTRICAL COVER SHEET FOR SYMBOLS, CONVENTIONS, ABBREVIATIONS, GENERAL NOTES, AND TYPICAL ELEVATIONS.

NEW WORK NOTES

- NEW RECEPTACLE AND BOX. REUSE THE CIRCUIT OF RECEPTACLE THAT WAS DEMOLISHED IN THIS LOCATION.
- NEW REPLACEMENT RECEPTACLE FOR WATER COOLER. EXTEND EXISTING CIRCUIT AS NECESSARY.
- NEW RECEPTACLE. EXTEND EXISTING RECEPTACLE CIRCUIT AS SHOWN.
- REPLACE ALL "EXISTING TO REMAIN" RECEPTACLE LOCATIONS WITH NEW TAMPER-PROOF RECEPTACLES AND NEW STAINLESS STEEL DEVICE PLATES. RECEPTACLES IN BATHROOMS, COUNTER TOPS, AND WITHIN 6 FT OF A SINK SHALL BE GFCI TYPE. OUTDOOR RECEPTACLES SHALL BE GFCI WEATHER PROOF TYPE AND PROVIDED WITH COVERS.
- ENSURE RECEPTACLE IS ON A DEDICATED SINGLE-PURPOSE APPLIANCE CIRCUIT MEETING THE REQUIREMENTS OF THE NEW REFRIGERATOR.
- 208 VOLT, SINGLE PHASE, 6.5 AMP HARDWIRE IN CONDUIT CONNECTION. CONFIRM POWER REQUIREMENTS WITH ORDERED KITCHEN EQUIPMENT (BOD: HATCO WARMING DRAWER HDW-3B).
- ENSURE RECEPTACLE IS ON A DEDICATED SINGLE-PURPOSE APPLIANCE CIRCUIT MEETING THE REQUIREMENTS OF THE NEW ICE MAKER.
- NEW FIRE ALARM PULL STATION. WIRE AND RE-PROGRAM EXISTING FIRE ALARM SYSTEM TO INCLUDE NEW DEVICE.
- COORDINATE EXISTING FIRE ALARM PULL STATION WITH NEW DOOR LOCATION. SHIFT PULL STATION TO THE LEFT IF NECESSARY. EXTEND EXISTING WIRING AS NEEDED.
- ADD ALTERNATE #1 - INCLUDE ALL ASSOCIATED CIRCUITRY, OVERCURRENT PROTECTION DEVICES, AND DISCONNECTS. COORDINATE WITH MECHANICAL DRAWINGS.
- ELECTRICAL PROVISION FOR HAND DRIER, 43" AFF. EXCEL DRYER XL-SB-ECO. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.



GRAPHIC SCALE



SCALE: 1/8" = 1'-0"



SCALE: 1/4" = 1'-0"

IF THIS PRINT IS A REDUCTION, GRAPHIC SCALE MUST BE USED.

BALTIMORE CITY RECREATION & PARKS
MARY E. RODMAN RECREATION
CENTER RENOVATION
3600 W Mulberry St, Baltimore, MD 21229

Murphy & Dittenhafer
ARCHITECTS

228 West Market Street, York, Pennsylvania 17401
717-543-2449 fax

805 North Charles Street, Baltimore, Maryland 21201
410-625-4823 voice 410-625-4874 fax

Mark	Date	Description
	03/29/21	100% CONSTRUCTION DRAWINGS
	08/24/21	100% CONSTRUCTION DRAWINGS

PROJECT NO: 20119
DRAWN BY: MAH
CHECKED BY: KS

ELECTRICAL
POWER NEW
WORK PLANS

SHEET
E-102

EXISTING PANELBOARD "L" - LEFT SIDE

BUS RATING: 225A MIN. AIC: 10K ISOLATED GROUND BUS: NONE MOUNTING: SURFACE

VOLTS: 208Y/120 SECTION: FED FROM: MAIN BREAKER REMARKS:

MLO: MCB: 225A NETURAL BUS: 100% NEMA ENCLOSURE:

PHASE: 3ø-4W GROUND BUS: 50% LOCATION: MAIN ELECTRICAL/MECH ROOM

CTK NO.	DESCRIPTION	BRANCH CIRCUIT			KVA/Ø			BRANCH CIRCUIT			DESCRIPTION	CKT NO.
		TRIP AMPS	POLE	NOTE	A/Ø	B/Ø	C/Ø	NOTE	POLE	TRIP AMPS		
1	EXISTING RECEPTACLE CIRCUIT	20	1						1	20	EXISTING RECEPTICAL CIRCUIT	2
3	EXISTING RECEPTACLE CIRCUIT	20	1						1	20	EXISTING RECEPTICAL CIRCUIT	4
5	EXISTING RECEPTACLE CIRCUIT	20	1						1	20	EXISTING RECEPTICAL CIRCUIT	6
7	EXISTING RECEPTACLE CIRCUIT	20	1						1	20	EXISTING RECEPTICAL CIRCUIT	8
9	EXISTING RECEPTACLE CIRCUIT	20	1						1	20	EXISTING RECEPTICAL CIRCUIT	10
11	EXISTING RECEPTACLE CIRCUIT	20	1						1	20	EXISTING RECEPTICAL CIRCUIT	12
13	EXISTING RECEPTACLE CIRCUIT	20	1						1	20	EXISTING RECEPTICAL CIRCUIT	14
15	NEW ADA REST RM RECEPT	20	1	1,2		1.90			1	20	EXISTING RECEPTICAL CIRCUIT	16
17												18
19												20
21												22
23												24
25												26
27												28
29												30
31												32
33												34
35												36
37												38
39												40
41												42

NEW WORK SUB. TOTAL (KVA) :

NEW WORK TOTAL/ø (KVA) :

NEW WORK CONNECTED TOTAL (KVA) :

NEW WORK CONNECTED TOTAL (AMPS) :

NOTES:

1. SEE WIRING SCHEDULE FOR WIRE AND CONDUIT SIZES.

2. PROVIDE NEW BREAKER.

EXISTING PANELBOARD "LL"

BUS RATING: 100A MIN. AIC: 10K ISOLATED GROUND BUS: NONE MOUNTING: FLUSH

VOLTS: 208Y/120 SECTION: FED FROM: BREAKER FROM PANEL "L" REMARKS:

MLO: X MCB: NETURAL BUS: 100% NEMA ENCLOSURE:

PHASE: 3ø-4W GROUND BUS: 50% LOCATION: OFFICE

SUB. TOTAL (KVA) :

TOTAL/ø (KVA) :

CONNECTED TOTAL (KVA) :

CONNECTED TOTAL (AMPS) :

NOTES:

1. SEE WIRING SCHEDULE FOR WIRE AND CONDUIT SIZES.

EXISTING PANELBOARD "L" - RIGHT SIDE

BUS RATING: 225A MIN. AIC: 10K ISOLATED GROUND BUS: NONE MOUNTING: SURFACE

VOLTS: 208Y/120 SECTION: FED FROM: BUS FROM PANEL "L" REMARKS:

MLO: X MCB: NETURAL BUS: 100% NEMA ENCLOSURE:

PHASE: 3ø-4W GROUND BUS: 50% LOCATION: MAIN ELECTRICAL/MECH ROOM

CTK NO.	DESCRIPTION	BRANCH CIRCUIT			KVA/Ø			BRANCH CIRCUIT			DESCRIPTION	CKT NO.	
		TRIP AMPS	POLE	NOTE	A/Ø	B/Ø	C/Ø	NOTE	POLE	TRIP AMPS			
1	EXISTING RECEPTACLE CIRCUIT	20	1						1	20	EXISTING RECEPTACLE CIRCUIT	2	
3	EXISTING RECEPTACLE CIRCUIT	20	1						1	20	EXISTING RECEPTACLE CIRCUIT	4	
5	EXISTING RECEPTACLE CIRCUIT	20	1						1	20	EXISTING RECEPTACLE CIRCUIT	6	
7	EXISTING RECEPTACLE CIRCUIT	20	1						1	20	EXISTING RECEPTACLE CIRCUIT	8	
9	EXISTING RECEPTACLE CIRCUIT	20	1						1	20	EXISTING RECEPTACLE CIRCUIT	10	
11	EXISTING RECEPTACLE CIRCUIT	20	1						1	20	EXISTING RECEPTACLE CIRCUIT	12	
13	EXISTING RECEPTACLE CIRCUIT	20	1						1	20	EXISTING RECEPTACLE CIRCUIT	14	
15	EXISTING HEATER CIRCUIT	20	1						1	20	EXISTING RECEPTACLE CIRCUIT	16	
17	EXISTING BREAKER	20	1						1	20	EXISTING RECEPTACLE CIRCUIT	18	
19	EXISTING TIME CLOCKS	20	1						1	20	EXISTING PUMP – HOT WATER	20	
21	EXISTING WATER COOLER	20	1						1	20	EXISTING ROOF TOP GFCI RECEPTACLE	22	
23	NEW KITCHEN ICE MAKER	20	1	1,2			0.60			20	EXISTING HEATER	24	
25	NEW HAND DRYERS (2)	20	1	1,2	1.28					20	EXISTING HEATER	26	
27	NEW ELECTRIC UNIT HEATER	20	2	1,2		1.50			2	30	EXISTING HOT WATER HEATER	28	
29	(ADD ALTERNATE #1)						1.50					30	
31						0.68			1,2	2	15	NEW KITCHEN WARMING DRAWER	32
33	EXISTING HEATER CIRCUIT	20	3				0.68					34	
35									1,3	1	20	NEW KITCHEN REFRIGERATOR	36
						3.65				3	60	EXISTING FEED TO PANEL "LL"	37
							2.00						
								1.65					

NEW WORK SUB. TOTAL (KVA) :

NEW WORK TOTAL/ø (KVA) :

NEW WORK CONNECTED TOTAL (KVA) :

NEW WORK CONNECTED TOTAL (AMPS) :

NOTES:

1. SEE WIRING SCHEDULE FOR WIRE AND CONDUIT SIZES.

2. REPLACE EXISTING BREAKER WITH NEW BREAKER(S).

3. PROVIDE NEW BREAKER.

- GENERAL NOTES
1. ALL CIRCUIT BREAKERS RENDERED UNUSED BY DEMOLITION SHALL BE MARKED "SPARE".

2. PROVIDE A TYPED, UPDATED DIRECTORY FOR ALL PANEL BOARDS WHICH INCLUDES A DESCRIPTION AND LOCATION OF THE DEVICES AND LOCATION SERVED.

COPPER CIRCUIT WIRING SCHEDULE			
CIRCUIT RATING (AMPERES)	CONDUCTOR SIZE (AWG OR KCMIL)		CONDUIT SIZE (INCHES)
	PHASE – NEUTRAL	GROUND	
15	12	12	3/4"
20	12	12	3/4"
30	10	10	3/4"
40	8	10	3/4"
50	6	10	1"
60	6	10	1"
70	4	8	1 1/4"
80	3	8	1 1/4"
90	2	8	1 1/4"
100	1	8	1 1/2"
110	1	6	1 1/2"
125	1	6	1 1/2"
150	1/0	6	1 1/2"
175	2/0	6	2"
200	3/0	6	2"
225	4/0	4	2"
250	250	4	2 1/2"
300	350	4	2 1/2"
350	500	3	3"
400	2 SETS 3/0	3	2 SETS 2"
600	2 SETS 350	1	2 SETS 2 1/2"
700	2 SETS 500	1/0	2 SETS 3"
800	3 SETS 350	1/0	3 SETS 2 1/2"
1000	3 SETS 400	2/0	3 SETS 2 1/2"
1200	4 SETS 400	3/0	4 SETS 2 1/2"
2000	6 SETS 400	250	6 SETS 2 1/2"
2500	7 SETS 500	350	7 SETS 3"
3000	8 SETS 500	400	8 SETS 3"

- NOTES
1. PROVIDE NO. OF CONDUCTORS FOR CIRCUITS AND FEEDERS PER N.E.C. FOR EXAMPLE, #12 & #12G, MINIMUM FOR TYPICAL LIGHT AND RECEPTACLE BRANCH CIRCUITS. PHASE CONDUCTORS + GROUND FOR 3 PHASE 3 WIRE AND 4 CONDUCTORS 3 PHASE + NEUTRAL + G FOR 3 PHASE 4 WIRE CIRCUITS AND FEEDERS.

2. CONDUCTOR SIZES, QUANTITIES, AND CONDUIT SIZES ARE BASED ON THWN, THWN–2 COPPER CONDUCTORS.

3. CONDUIT SIZES SHOWN ELSEWHERE SUPERSEDES THOSE ON THIS SCHEDULE.

BALTIMORE CITY RECREATION & PARKS

MARY E. RODMAN RECREATION CENTER RENOVATION

3600 W Mulberry St, Baltimore, MD 21229

Murphy & Dittenhafer

A R C H I T E C T S

805 North Charles Street, Baltimore, Maryland 21201
410-625-4823 voice 410-625-4874 fax

Mark	Date	Description
	03/29/21	100% CONSTRUCTION DRAWINGS
	08/24/21	100% CONSTRUCTION DRAWINGS

PROJECT NO: 20119

DRAWN BY: MAH

CHECKED BY: KS

ELECTRICAL SCHEDULES

SHEET

E-201

ADDENDUM NO.1
PAGE 61 OF 67

SOUNDSCAPES® Blades™

Linear Acoustical Panels
fine texture



Custom SoundScapes® Blades™, Rectangular in varying lengths and depths



Wall application

plus capabilities
do more



armstrongceilings.com/capabilities
See more photos at:
armstrongceilings.com/photogallery

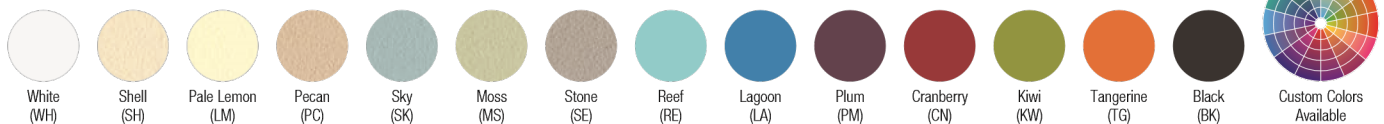
Acoustical vertical panels reduce reverberation time in your space, now with three ways to install on ceilings and walls.

KEY SELECTION ATTRIBUTES



- Three installation options for maximum ceiling and wall design flexibility
 - From standard suspension system
 - From individual cable suspension
 - Direct-attach method using Axiom® Wall Molding
- Excellent acoustical absorption – 1.38 Sabins/SF²
- Twenty vertical panel sizes and shapes
- Linear, upscale visual
- Seismic-tested
- Integrated hardware
- Custom panel options available
- Add scrim to top edge as a premium option

COLORS Due to printing limitations, shade may vary from actual product.



For premium and custom capabilities, contact TechLine at 877 276-7876.
Coordinating Calla® and Lyra® DESIGNFlex™ colors available!

SOUNDSCAPES® Blades™

Linear Acoustical Panels
fine texture

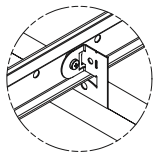
71% RECYCLED CONTENT

Calculate LEED contribution at
armstrongceilings.com/greengenie

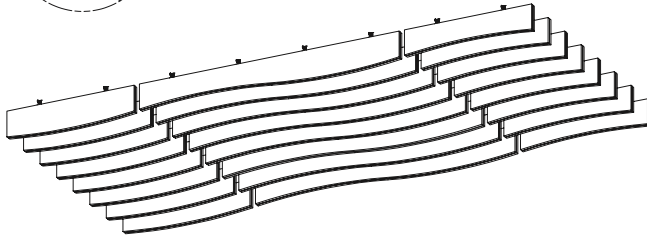
LEED®	energy management	construction waste mgmt	regional materials	design for flexibility	EPD	recyclable/extended producer resp.	biobased materials	recycled content	sourcing of raw materials	material ingredient reporting	low emitting materials	lighting quality	acoustics
✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓

LOCATION DEPENDENT

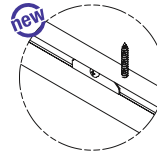
LAYOUT OPTIONS



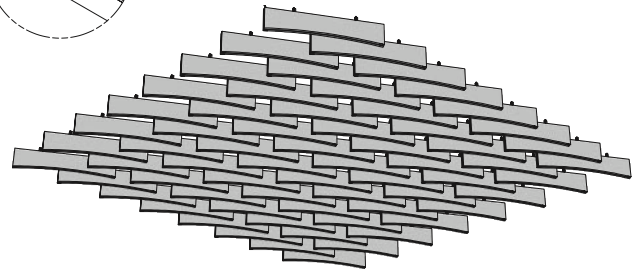
Install to Standard 15/16"
Suspension System



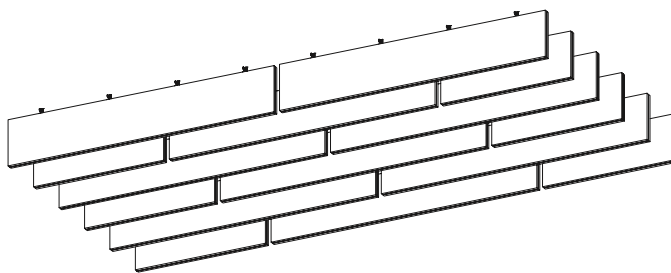
Vertical Panel 8' Wavelength Concave 7240 – 7.5 x 46 x 2"
Vertical Panel 8' Wavelength Convex 7241 – 10.5 x 46 x 2"
Vertical Panel 8' Wavelength Wave 7244 – 10.5 x 94 x 2"



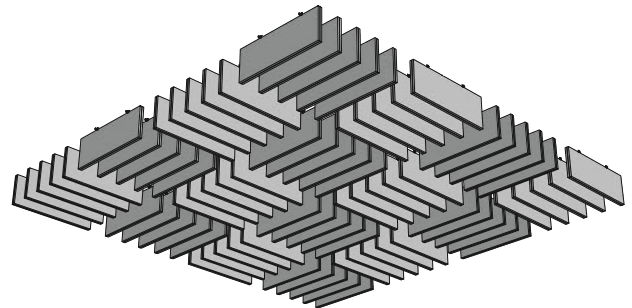
Direct-Attach Method using
Axiom® Wall Molding



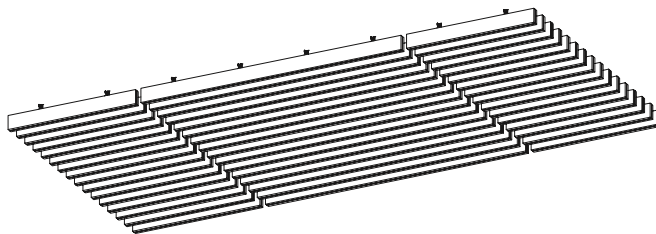
Vertical Panel 8' Wavelength Concave 7240 – 7.5 x 46 x 2"



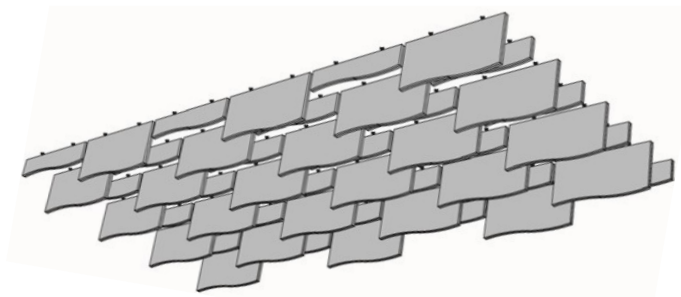
Vertical Panel Rectangular 7192 – 16 x 46 x 2"
Vertical Panel Rectangular 7193 – 16 x 94 x 2"



Vertical Panel Rectangular 7192 – 16 x 46 x 2"



Vertical Panel Rectangular 7190 – 5 x 46 x 2"
Vertical Panel Rectangular 7191 – 5 x 94 x 2"



Vertical Panel 4' Wavelength Wave 7247 – 22 x 46 x 2"
Vertical Panel 4' Wavelength Wave 7246 – 10 x 46 x 2"

CUSTOM PANEL DESIGN EXAMPLES



.125 Min Radius for all 90° Inside Corners



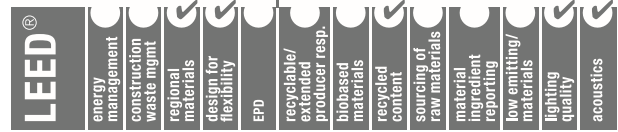
1.0 Min Radius anywhere other than 90° Inside Corners

SOUNDSCAPES® Blades™

Linear Acoustical Panels
fine texture

71% RECYCLED CONTENT

Calculate LEED contribution at
armstrongceilings.com/greengenie



LOCATION DEPENDENT

VISUAL SELECTION

Shown in elevation view

PERFORMANCE

Dots represent high level of performance.

Item No. ♦	Description	Dimensions (Inches)
SOUNDSCAPES® Blades™ Vertical Panel Rectangular		
7190__	Vertical panel Rectangular	5 x 46 x 2"
7191__	Vertical panel Rectangular	5 x 94 x 2"
3920__	Vertical panel	10 x 46 x 2"
3921__	Vertical panel	10 x 94 x 2"
7192__	Vertical panel Rectangular	16 x 46 x 2"
7193__	Vertical panel Rectangular	16 x 94 x 2"
3922__	Vertical panel	22 x 46 x 2"

Sabins/ Panel	Light Reflect (White Only)	Fire Rating	Mold & Mildew Protection	Sag Resist Humi- Guard+	Wash	Impact	Scratch	Soil
2.2	0.90 •	Class A	•	•	•	•	•	•
4.5	0.90 •	Class A	•	•	•	•	•	•
4.4	0.90 •	Class A	•	•	•	•	•	•
9.0	0.90 •	Class A	•	•	•	•	•	•
7.0	0.90 •	Class A	•	•	•	•	•	•
14.4	0.90 •	Class A	•	•	•	•	•	•
9.7	0.90 •	Class A	•	•	•	•	•	•

NOTE: Scrimmed top edges offered as "Premium." EXAMPLE: BPAS3920S6WH, where "S6" = scrimmed all sides.
♦ Add 2-letter color suffix to end of item number (e.g., 3920 W H = White)

SOUNDSCAPES® Blades™

Linear Acoustical Panels
fine texture

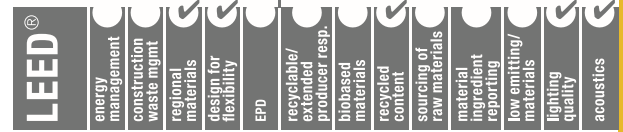
VISUAL SELECTION Shown in elevation view

Item No. ♦	Description	Dimensions (Inches)	
SOUNDSCAPES® Blades™ Vertical Panel Wave			
3923 _ _	Vertical panel	22 x 94 x 2"	
7194 _ _	Vertical panel Rectangular	28 x 46 x 2"	
7195 _ _	Vertical panel Rectangular	28 x 94 x 2"	
7240 _ _	Vertical panel 8' Wavelength Concave	7.5 x 46 x 2"	
7241 _ _	Vertical panel 8' Wavelength Convex	10.5 x 46 x 2"	
7242 _ _	Vertical panel 8' Wavelength Concave	19.5 x 46 x 2"	
7243 _ _	Vertical panel 8' Wavelength Convex	22.5 x 46 x 2"	

NOTE: Scrimmed top edges offered as "Premium." EXAMPLE: BPAS3920S6WH, where "S6" = scrimmed all sides.
♦ Add 2-letter color suffix to end of item number (e.g., 3920 W H = White)

71% RECYCLED CONTENT

Calculate LEED contribution at armstrongceilings.com/greengenie



LOCATION DEPENDENT

PERFORMANCE Dots represent high level of performance.

Sabins/ Panel	Light Reflect (White Only)	Fire Rating	Mold & Mildew Protection	Sag Resist Humi-Guard+	Wash	Impact	Scratch	Soil
19.8	0.90	Class A	•	•	•	•	•	•
12.3	0.90	Class A	•	•	•	•	•	•
25.2	0.90	Class A	•	•	•	•	•	•
3.5	0.90	Class A	•	•	•	•	•	•
4.4	0.90	Class A	•	•	•	•	•	•
8.8	0.90	Class A	•	•	•	•	•	•
9.7	0.90	Class A	•	•	•	•	•	•



EXPOSED STRUCTURE – BLADES™ & BAFELLES

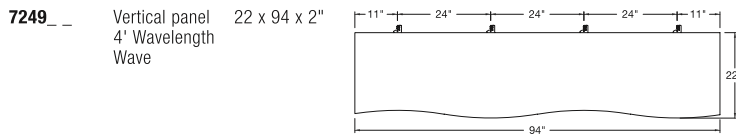
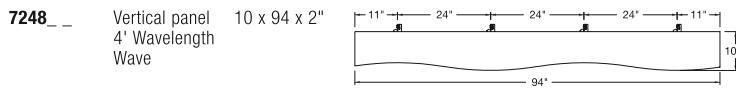
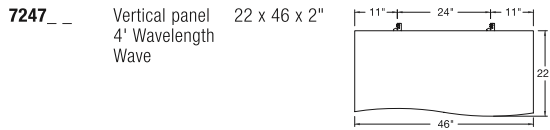
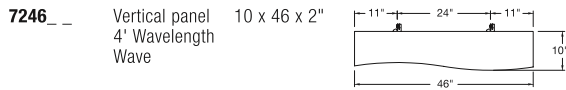
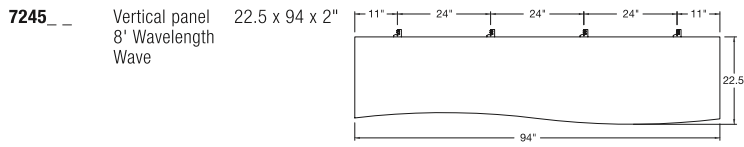
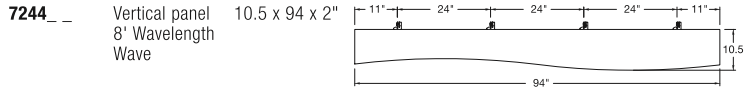
SOUNDSCAPES® Blades™

Linear Acoustical Panels
fine texture

VISUAL SELECTION Shown in elevation view

Item No. Description Dimensions (Inches)

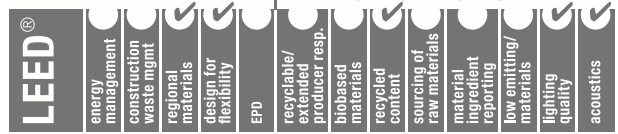
SOUNDSCAPES® Blades™ Vertical Panel Wave



NOTE: Scrimmed top edges offered as "Premium." EXAMPLE: BPAS3920S6WH, where "S6" = scrimmed all sides.
♦ Add 2-letter color suffix to end of item number (e.g., 3920 W H = White)

71% RECYCLED CONTENT

Calculate LEED contribution at armstrongceilings.com/greengenie



LOCATION DEPENDENT

PERFORMANCE Dots represent high level of performance.

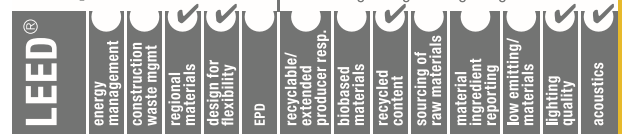
Sabins/ Panel	Light Reflect (White Only)	Fire Rating	Mold & Mildew Protection	Sag Resist Humi- Guard+	Wash	Impact	Scratch	Soil
					Durability			
8.1	0.90 •	Class A	•	•	•	•	•	•
18.9	0.90 •	Class A	•	•	•	•	•	•
4.0	0.90 •	Class A	•	•	•	•	•	•
9.3	0.90 •	Class A	•	•	•	•	•	•
8.1	0.90 •	Class A	•	•	•	•	•	•
18.9	0.90 •	Class A	•	•	•	•	•	•

SOUNDSCAPES® Blades™

Linear Acoustical Panels
fine texture

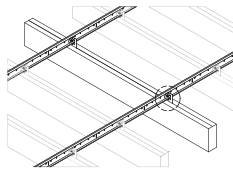
71% RECYCLED CONTENT

Calculate LEED contribution at
armstrongceilings.com/greengenie

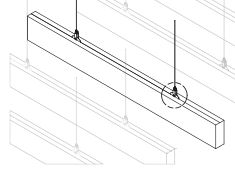
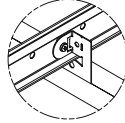


LOCATION DEPENDENT

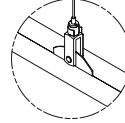
THREE WAYS TO INSTALL



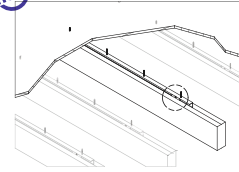
Attachment to Suspension System



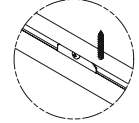
Individual Suspension using Hanging Kit



new

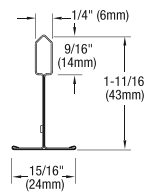


Direct-attach Method using Axiom® Wall Molding



INSTALLATION OPTIONS

Item No. ♦	Description	Lin Ft/ Carton
PRELUDE® XL®		
7301__	HD Main Beam	240
XL7341__	48" Cross Tee	240
XL8320__	24" Cross Tee	120
7800__	7/8" Wall Angle	360
360° PAINTED GRID Suspension system available in RAL® colors.		
56418	144" HD Main Beam	240
730136__	Black (BL) and White (WH) colors only	240
56421	48" Cross Tee	240
XL34036__	Black (BL) and White (WH) colors only	240
56419	24" Cross Tee	120
XL732036__	Black (BL) and White (WH) colors only	120
7800	7/8" Wall Angle	360
780036__	Black (BL) and White (WH) colors only	360



♦ When specifying or ordering items with a color, add the two-letter suffix to the end of the item number (e.g. 7301BL)

Item No. ♦	Description	Pieces/Carton
------------	-------------	---------------

new

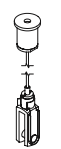
DIRECT-ATTACH WITH AXIOM® WALL MOLDING

AXM34STR3__	Straight Wall Molding – Shadow 10'	(360 Paint Recommended; order by the piece)
--------------------	------------------------------------	---



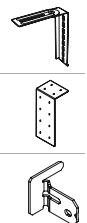
INDIVIDUAL SUSPENSION USING HANGING KIT

BP6655	4-Point Hanging Kit	4 per bag
---------------	---------------------	-----------



ACCESSORIES

ARBRKT	Adjustable Hanger Bracket	80
QSUTC	Rigid Attachment Clip	150
STAC	Single Tee Adapter Clip	120



PHYSICAL DATA

Material

2" thick fiberglass with DuraBrite® scrim on face and sides.

Surface Finish

DuraBrite scrim with factory-applied paint on face and sides. Standard White has energy-saving, high light-reflective finish (LR 0.90). Top of panel is unfinished with embedded hanging clips.

Fire Performance

SoundScapes® Blades™ panel material is ASTM E84 Class A: Flame Spread 25 or under and Smoke Developed 50 or less.

CAN/ULC S102 surface burning characteristics. Flame Spread Rating 25 or less. Smoke Developed Classification 50 or less.

SoundScapes Blades panels, as with other architectural features located in the ceiling plane, may obstruct or skew the existing or planned fire sprinkler water distribution pattern, or possibly delay the activation of the fire sprinkler or fire detection system. Consult a fire protection engineer, NFPA 13, and local codes for guidance on the proper installation techniques where fire detection or suppression systems are present.

Acoustical Performance

1.38 Sabins per square foot or 64% more sound absorption than the same square footage of NRC 0.90 continuous ceilings. Blades™ colored panels have slightly reduced acoustical performance.

Design Considerations

SoundScapes® Blades™ panels maintain a natural bow that may be noticeable when installed 2" or less apart. Deflection up to 1/8" has been documented in some cases.

Special care in installation and handling must be taken with color panels to avoid surface damage to the paint finish. Custom colors are available.

5" SoundScapes Blades can now be used on walls, but are not recommended for use in high-traffic or high-impact areas. For best results, install above 6' from floor level.

SoundScapes Blades panels can be ordered with scrim on top edge as a premium.

Seismic Restraint

SoundScapes® Blades™ are approved for all seismic areas when installed per the seismic guidelines in the Armstrong Ceilings installation instructions.

Recommended Suspension Systems

SoundScapes Blades panels are pre-assembled with metal hanging clips in the top of the panels. See Installation Instructions BPLA-297844 for installation details.

Warranty

Details at armstrongceilings.com

Panel Weight

7190	– 1.6 lbs per panel
7191	– 3.3 lbs per panel
3920	– 3.2 lbs per panel
3921	– 6.5 lbs per panel
7192	– 5.1 lbs per panel
7193	– 10.4 lbs per panel
3922	– 7.0 lbs per panel
3923	– 14.4 lbs per panel
7194	– 8.9 lbs per panel
7195	– 18.3 lbs per panel
7240	– 2.9 lbs per panel
7241	– 3.5 lbs per panel
7242	– 6.7 lbs per panel
7243	– 7.2 lbs per panel
7244	– 5.9 lbs per panel
7245	– 13.7 lbs per panel
7246	– 3.2 lbs per panel
7247	– 7.0 lbs per panel
7248	– 6.5 lbs per panel
7249	– 14.4 lbs per panel

Panels/Carton

4

Minimum Order Quantity
1 carton

TechLine / 1 877 276 7876
armstrongceilings.com/soundscares
(search: soundscares blades)
BPCS-5094-718

LEED® is a registered trademark of the U.S. Green Building Council®
All other trademarks used herein are the property of
AWI Licensing LLC and/or its affiliates
© 2018 AWI Licensing LLC Printed in the United States of America

Armstrong®
CEILING & WALL SOLUTIONS

79