

ADDENDUM NO. 1

DATE: June 24, 2020

**For
DRAWINGS, SPECIFICATIONS, PROPOSAL, CONTRACT AND BOND**

**For
DYPSKI PARK IMPROVEMENTS
CONTRACT NO. RP 17802**

FOR THE MAYOR AND CITY COUNCIL OF BALTIMORE

TO BIDDERS: THIS ADDENDUM IS HEREBY MADE A PART OF THE CONTRACT DOCUMENTS ON WHICH THE CONTRACT WILL BE BASED, AND IS ISSUED TO MODIFY, EXPLAIN AND/OR CORRECT THE ORIGINAL DRAWINGS AND SPECIFICATIONS. PLEASE ATTACH THIS ADDENDUM TO YOUR CONTRACT DOCUMENTS AND ACKNOWLEDGE IT ON THE BID OR PROPOSAL PAGE WHERE INDICATED.

**ALL QUESTIONS DUE BY JULY 8, 2020 AT NOON.
EXTEND BID DUE DATE FROM JULY 1 TO JULY 22, 2020 AT 11 AM.**

APPROVED:

A handwritten signature in black ink, appearing to read "Adam Boarman", followed by a horizontal line.

**Adam Boarman, RLA
CHIEF OF CAPITAL DEVELOPMENT
DEPARTMENT OF RECREATION AND PARKS**

A handwritten signature in blue ink, appearing to read "Reginald Moore", followed by a horizontal line.

**Reginald Moore
DIRECTOR OF RECREATION AND PARKS**

Dypski Park Improvements

June 24, 2020

ADDENDUM NO. 1

CONTRACT NO. RP 17802

Acknowledgement: Acknowledge receipt of this addendum by inserting its number and date on your bid form. This addendum form is a part of the Contract Documents and modifies them as follows:

1. CHANGES TO THE SPECIFICATIONS:

Item No.	SECTION No.	DESCRIPTION OF CHANGES
1.1	02 41 00	DELETE pages 143 through 148 and REPLACE with pages 143r through 148r.
1.2	Bid Proposal	DELETE page 413 and REPLACE with page 413r.
1.3	Bid Proposal	DELETE page 424 and REPLACE with page 424r.
1.4	Bid Proposal	DELETE page 430 and REPLACE with page 430r.
1.5	Bid Proposal	DELETE page 431 and REPLACE with page 431r.
1.6	Bid Proposal	DELETE page 433 and REPLACE with page 433r.
1.7	Bid Proposal	DELETE page 446 and REPLACE with page 446r.

2. ADDITION OF NEW DRAWING:

Item No.	SHEET No.	DESCRIPTION OF CHANGES
2.1	C1.1 (Vol 1 dwgs.)	Proposed Utility Plan
2.2	C2.1 (Vol 1 dwgs.)	Proposed Storm Drain Profiles
2.3	C2.2 (Vol 1 dwgs.)	Proposed Water Utility Profiles
2.4	C3.1 (Vol 1 dwgs.)	Civil Construction Details 1
2.5	C3.2 (Vol 1 dwgs.)	Civil Construction Details 2
2.6	C3.3 (Vol 1 dwgs.)	Structural Details

3. CHANGES TO DRAWINGS:

Item No.	SHEET No.	DESCRIPTION OF CHANGES
3.1	A1.4r (Vol 2 dwgs)	DELETE and REPLACE Comfort Station Improvements

4. Responses to Request for Information / Clarification:

QUESTION 1: Who will be responsible to provide and pay for the necessary building permit for the project, the Dept. of Recreation & Parks or the contractor? If the contractor is responsible for those costs, do you know how much the permit costs will be or is there an approved plans number that we could refer to?

ANSWER: City of Baltimore Department of Recreation and Parks will provide and pay for the building permit. The contractor is responsible to attain, purchase and administered for trade permits (for example: demolition permit).

QUESTION 2: There is a conflict with regard to the WBE goal for the project. In several places, such as the MBE/WBE forms in the bidding documents and in the Notice of Letting, etc. they state that the WBE goal is 8%. In the Pre-Bid Meeting Agenda, page 2 or 2 near the top it states that the WBE goal is 7%. Also in the Pre-Bid Meeting agenda that was prepared and reviewed by Benita Randolph, the Contract Administrator, on page 1 Item 1 at the top it states that the WBE goal is 7%. Please clarify

ANSWER: See item 1.3 above for 'Changes to the Specifications'.

Dypski Park Improvements

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QUESTION 2: On the drawings Volume 2 for the work at Gwynns Falls Leakin, on Sheet A1.4 there are notes in the both the Mens and Womens restrooms that say "Remove paint and primer from original glazed block walls to restore original glazed finish throughout interior restroom space. We're under the impression that those restrooms walls were recently newly painted when the restroom building renovations were recently performed. Our opinion is that it would cost quite a bit to remove all of the paint throughout the rooms and the benefit may be marginal. If the restroom building was renovated there could be a lot of underlying patching that was performed on the glazed block walls prior to the application of the primer and finish coats of paint. The work of removing the paint could end up exposing the underlying patching. If the intent is to have a glazed finish on the wall that is more washable it may be less expensive and give a better result to select a glazed paint coating to be applied to the wall surfaces.

ANSWER: **DELETE** from scope of work to "remove paint and primer from the original glazed block walls to restore original glazed finish throughout interior restroom space" of the comfort station at Leakin Park. Also, see revised sheet A1.4- Comfort Station Improvements", **DELETE** removal of paint and primer and to restore original glazed finish throughout interior restroom space (for both Mens and Womens restrooms).

SECTION 02 41 00 - SELECTIVE DEMOLITION

PART 1 – GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.
- B. All materials and construction methods shall be in accordance with the City of Baltimore “Standard Specification for Materials, Highways, Bridges, Utilities, and Incidental Structures,” 2006 edition, hereinafter referred to as the “Standard Specifications,” City of Baltimore Standard Details dated March 2008 and as amended on the drawings.
- C. Throughout the specifications, types of materials may be specified by manufacturer’s name and catalogue number in order to establish standards of quality and performance and not for the purpose of limiting competition. Alternate methods and/or materials may be submitted to the Engineer for consideration. Those judged to be equal to that specified will receive written approval.

1.1 SECTION INCLUDES

- A. Building demolition, excluding removal of hazardous materials and toxic substances.
- B. Selective demolition of built site elements.
- C. Selective demolition of building elements for alteration purposes.
- D. Abandonment and removal of existing utilities and utility structures
- E. Demolition of designated pavement, concrete curbs, wood ties (curbs), play equipment, fencing, site furniture, storm drainage structures and pipes, tree and planting material, and other items in their entirety or in part as noted on the drawings.
- F. Disposal of demolished concrete, paving, bricks, piping, chain link fencing, timber curbing, steel and wood posts and all remains shall be in accordance with the City of Baltimore/Department of Public Works’ standards and all local, state and federal guidelines for disposal of construction materials.
- G. Demolition and salvage memorial plaque and concrete base foundation, playground equipment, park benches, bike racks and trash receptacles as Baltimore City property. Contractor to deliver the salvage materials to a Druid Hill Park City Yard (3101 Shop Road) or as directed by the Engineer.

1.2 DEFINITIONS

- A. Existing to Remain: Existing items that are not to be removed or dismantled, except to the degree indicated for performing required work.

- B. Remove: To detach items from existing construction and dispose of them off-site unless indicated on be salvaged or reinstalled.
- C. Remove and Reinstall: To detach items from existing construction in a manner to prevent damage, to prepare for reuse, and to reinstall where indicated.
- D. Retain: To keep and protect from damage existing item that area not to be removed or dismantled.
- E. Salvage: To protect removed or dismantled items from damage and to deliver them to the Engineer ready for reuse.

1.3 REFERENCE STANDARDS

- A. 26 CFR 1926 – U.S. Occupational Safety and Health Standards.
- B. NFPA 241 – Standard for Safeguard Construction, Alteration and Demolition Operations.

1.4 MATERIAL OWNERSHIP

- A. Unless otherwise indicated, demolition waste becomes property of Contractor.
- B. Prior to Notice of Proceed (NTP), City will remove all equipment, materials and fixtures City wishes to retain. After which all equipment, material and fixtures become the property of the Contractor to be removed from the premises and disposed by Contractor.

1.5 PREINSTALLATION MEETINGS

- A. Pre-demolition Conference: Conduct conference at Project site. Schedule separate project site meetings for both designated project locations project.
 - 1. Inspect and discuss conditions of construction to be demolished or dismantled.
 - 2. Review structural load limitations of existing structures.
 - 3. Review and finalize building demolition schedule and verify availability of demolition personnel, equipment, and facilities needed to make progress and avoid delays.
 - 4. Review and finalize protection requirements.
 - 5. Review procedures for noise control
 - 6. Review procedures for protection of adjacent buildings.
 - 7. Review procedures to remove hazard materials.

1.6 REGULATORY REQUIREMENTS

- A. Conform to current Baltimore City Building Code and other applicable codes for demolition, safety of adjacent structures, dust control, service utilities, and all discovered hazards to include asbestos and lead paint.
- B. Obtain and have on file all required permits.
- C. Comply with Section 02 41 13.14, Section 02 41 13.14, and Section 02 41 13.16 of the Standard Specifications.
- D. Pay all permits and associated fees.

- E. City will obtain and pay for the construction permit. Contractor is responsible for disposal fees beyond what is covered in the construction permit.
- F. Lead—based reports, see Section 02 41 01 Selective Building Demolition.

1.7 SUBMITTALS

- A. Preconstruction Documentation: Show preexisting conditions of adjoining construction and site improvements, including finish surfaces, that might be misconstrued as damage caused by Contractor's removal and dismantling operations.
- B. Proposed Protection Measures: Submit report, including Drawings, that indicates the measures proposed for protecting individuals and property, for dust control and noise control, and for environmental protection. Indicate proposed location and construction of barriers. Adjacent building: Detail special measures proposed to protect adjacent buildings to remain.
- C. Demolition Plan: Submit demolition plan as specified by OSHA and local authorities.
 - 1. Indicate extent of demolition, removal sequence, bracing and shoring, and location and construction of barricades and fences
 - 2. Identify pavilion dismantling (and re-erection) firm and submit qualifications.
- D. Project Record Documents:
 - 1. Record Drawings: Accurately record actual locations of capped and active utilities and subsurface construction
 - 2. Inventory: Submit a list of items that have been removed and salvaged.

1.8 QUALITY INSURANCE

- A. Demolition and Dismantling Firm Qualifications: Company specializing in the type of work required.
- B. Regulatory Requirements: Comply with notification regulations of authorities having jurisdiction before beginning removal and dismantling work. Comply with hauling and disposal regulations of authorities having jurisdiction.

1.9 FIELD CONDITIONS

- A. Conditions existing at the time of inspection for bidding purposes will be maintained by Engineer as far as practical.
- B. Notify Engineer of discrepancies between existing conditions and Drawings before proceeding with selective demolition
- C. Engineer assumes no responsibility for condition of areas to be demolished.
- D. Hazardous Materials:
 - 1. If hazardous materials are discovered during removal operations, stop work and notify Engineer; hazardous materials include regulated asbestos containing materials, lead, PCBs and mercury

2. Demolition of existing buildings and material, which contain lead-based paint, shall be in compliance with:
 - a. 29 CFR 1926.62 “Lead” and COMAR Title 09, Subtitle 12, Chapter 31 “Maryland Occupation Safety and Health Act.”
 - b. All federal, state and local ordinances and landfill requirements, relative to the disposal of waste accumulated as part of the paint removal portion of the contract. Performing sampling and analysis of demolition of debris, in accordance with paragraph 3.1
 3. Lead-based material per the report in Section 02 41 01 Site Building Demolition to be removed by the Contractor; and any other hazardous material will be removed by the Owner.
- E. Buildings immediately adjacent to demolition area will be occupied. Conduct building and walls demolition so operations of occupied buildings will not be disturbed.
1. Provide not less than 72 hours’ notice of activities that will affect operations of adjacent occupied buildings
 2. Maintain access to existing walkways, exits, and other facilities used by counterparts by occupants of adjacent buildings without written permission from authorities having jurisdiction
- F. Storage or sale of removed items or materials on-site is not permitted.
- G. Utility Service: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations.
1. Maintain fire-protection facilities in service during selective demolition operations.

PART 2 - PRODUCTS – NOT USED

PART 3 - GENERAL PROCEDURES AND PROJECT CONDITIONS

- A. Comply with applicable codes and regulations for demolition operation and safety of adjacent structures and the public.
1. Obtain and have on file all required permits.
 - a. Pay all permits and associated fees
 2. City will obtain and pay for the construction permit. Contractor is responsible for disposal fees beyond what is covered in the construction permit.
 3. Comply with applicable requirements of NFPA 241
 4. Conform to current Baltimore City Building Code and other applicable codes for demolition, safety of adjacent structures, dust control, service utilities, and all discovered hazards to include asbestos and lead paint.
 5. Use of explosives is prohibited.
 6. Take precautions to prevent catastrophic or uncontrolled collapse of structures to be removed; do not allow worker or public access within range of potential collapse of unstable structures.

7. Provide, erect, and maintain temporary barriers and security devices around work areas. Provide temporary warning signage as required or as directed by Engineer.
 8. Use physical barriers to prevent access to areas that could be hazardous to workers or the public.
 9. Conduct operations to minimize effects on and interference with adjacent structures and occupants.
 10. Do not close or obstruct roadways, sidewalks and driveway without permit and without seven day advance approval by Engineer.
 11. Conduct operations to minimize obstruction of public and private entrances and exits; do not obstruct required exits at any time; protect persons using entrances and exits from removal operations.
 12. Obtain written permission from the Engineer and Owners of adjacent properties when demolition equipment will traverse, infringe upon or limit access to their property.
- B. Do not begin removal until receipt of notification to proceed from Engineer.
- C. Do not begin removal until existing vegetation to be relocated has been removed and specified measures have been taken to protect existing vegetation to remain and comply with Section 01 56 39 Tree Protection Fence and Tree Preservation.
- D. Protect existing structures and other elements that are not to be removed.
1. Provide bracing and shoring.
 2. Prevent movement and settlement of adjacent structures.
 3. Stop work immediately if adjacent structures appear to be in danger. Notify the Engineer.
- E. Verify that utilities have been disconnected and capped.
- F. Notify adjacent owners of work which may affect their property, potential noise, utility outage, or disruption. Coordinate with the Engineer.
- G. Protect existing items which are not indicated to be removed or demolished.

3.01 DEMOLITION REQUIREMENTS

- A. Comply with Section 02 41 13.13, Section 02 41 13.14, and Section 02 41 13.16 of the Standard Specifications.
- B. Contractor shall contact the Department of Recreation and Parks a minimum of two weeks prior to the delivery of salvaged items for instructions as to where to deposit the site elements.
- C. Conduct demolition to minimize interference with existing roads and sidewalks designated to remain.
- D. Conduct operations with minimum interference to public or private accesses. Maintain a safe public access to all athletic play fields, field house (building) and basketball court during construction.
- E. Maintain protected egress and access at all times. Do not close or obstruct roadways or sidewalks without permits. Obtain approval from the Engineer for egress and access plans prior to beginning any demolition.

- F. Cease operations immediately if adjacent structures or existing structures to remain appear to be in danger. Notify the Engineer.
- G. Remove demolished materials from site at regular intervals as work progresses.
- H. Use of explosives is not permitted.
- I. Do not burn any material or debris on the project site.
- J. Make every effort to keep to a minimum noise, dust vibrations, and other activities which would bother the inhabitants housed in adjacent and nearby buildings.
- K. Demolish work in such manner as to avoid hazard to persons and property. Prevent the spread of dust and flying particles by keeping work thoroughly wetted down; provide water and necessary connections therefor. Provide adequate protection of persons and property at all times. Provide for all temporary dustproof partitions where called for or as required to stop the flow of dust and debris from the area of construction into the inhabited area.
- L. The Contractor shall provide "dumpsters" for his own trash removal use. Dumpsters, when full, shall be promptly emptied, and refuse removed from the premises all at the Contractor's cost.
- M. Upon completion, leave the premises in a clean condition, free from hazards or unsightly appearance.

3.02 EXCAVATION

- A. Excavation and backfill required for demolition of field inlets, piping and other utility structures shall conform to applicable specifications regarding utility construction.

END OF SECTION 02 41 00

NOTE: NO INFORMATION OTHER THAN THAT INCLUDED IN OR ATTACHED TO THIS ORIGINAL BID DOCUMENT (WHERE SUCH ATTACHMENT IS PERMITTED) WILL BE USED IN DETERMINING AWARD.

ORIGINAL(NOT TO BE DETACHED)
NOTICE TO BIDDEERS

CITY OF BALTIMORE
DEPARTMENT OF RECREATION AND PARKS
CONTRACT NUMBER: RP17802

THE COMPLETE (ORIGINAL)
CONTRACT BOOK AND
DUPLICATE OF BID OR
PROPOSAL MUST BE
INCLUDED IN THE
BID ENVELOPE

DYPSKI PARK IMPROVEMENTS

III. BID OR PROPOSAL

Opening of Bids July 22, 2020

Certified Check or Bank Cashier's Check or Bank Treasurer's Check or Bid Bond Equal to
Two Percent (2%) of Total Bid Submitted.

Days of Completion **365** Consecutive Calendar Days

Liquidated Damages **\$200.00** per Consecutive Calendar Day

Made this _____ day of _____ 20____

By _____
(Name)

(Address)

(NOTE: The Bidder's name and address must be inserted above, and in the case of a Firm, the Name of the Firm and of each and every Member of the Firm must be inserted. In case a Bid shall be submitted by or on behalf of any corporation, the Name of such Corporation must be written above). Shall sign below to signify the following:

To "The Board of Estimates of Baltimore City":

I/We the undersigned Contractor, have familiarized myself/ourselves with the Requirements and Stipulations of the Contract Documents, and the site of the proposed work, and fully understand and appreciated extent and character of the work to be done under the Contract.

I/We propose to furnish all labor, materials and equipment and to do everything except as otherwise provided in the Contract Documents.

Specifications, Special Provisions, Drawings and /or other Contract Documents hereto attached, at the following prices:

**MAYOR AND CITY COUNCIL OF BALTIMORE CITY
BALTIMORE CITY CODE, ARTICLE 5, SUBTITLE 28
MINORITY AND WOMEN'S BUSINESS PROGRAM**

**MBE AND WBE PARTICIPATION
COMMITMENT FORMS**

Name of Bidder (Proposer) _____

Address _____

Contracting Agency: **Department of Recreation & Parks**

Contract (Project) Title: **Dypski Park Improvements**

Contract Number: **RP17802**

Bid Due Date: **Wednesday, July 22, 2020**

The Overall MBE goal is21% The WBE goal is 8%

If MBE Sub-Goals Apply:

African American 14 %
Asian American N/A %
Hispanic American 6 %
Native American N/A %

**THIS PACKAGE OF MBE AND WBE PARTICIPATION
COMMITMENT FORMS IS DUE WITH THE BID.**

FOR MORE INFORMATION OR ASSISTANCE WITH THESE FORMS CONTACT:

Minority and Women's Business Opportunity Office (MWBOO)
Baltimore City Department of Law
Room 101, City Hall
100 N. Holliday Street
Baltimore, MD 21202
(410)396-4355

PART D: MBE/WBE PARTICIPATION AFFIDAVIT

The Undersigned authorized representative of Contractor does hereby make the following Affidavit: Contractor has read the Bidder Information and Instructions regarding the MBE/WBE Program. Contractor acknowledges the MBE goal of **21%** and the WBE goal of **8%** for this contract. Contractor has achieved the following participation:

MBE-\$_____ or _____% and WBE-\$_____ or _____%
of the total contract amount which is \$_____.

My firm has made good faith efforts to achieve the MBE and WBE participation goals for this contract. I understand that, if awarded the contract, my firm must submit to the Minority and Women's Business Opportunity Office (MWBOO) copies of all executed agreements with the MBE and WBE firms being utilized to achieve the participation goals and other requirements of Article 5, Subtitle 28 of the Baltimore City Code. I understand that these documents must be submitted prior to the issuance of a notice to proceed.

I understand that, if awarded the contract, my firm must submit to the MWBOO canceled checks and any other documentation and reports required by MWBOO verifying payments to the MBE and WBE firms utilized on the contract.

I understand that, if awarded this contract and I find that I am unable to utilize the MBEs or WBEs identified in my Statements of Intent, I must substitute other certified MBE and WBE firms to meet the participation goals. I understand that I may not make a substitution until I have obtained the written approval of MWBOO.

I understand that, if awarded this contract, authorized representatives of the City of Baltimore may examine, from time to time, the books, records and files of my firm to the extent that such material is relevant to a determination of whether my firm is complying with the MBE and WBE participation requirements of this contract.

I do solemnly declare and affirm under the penalty of perjury that the contents of the foregoing Affidavit are true and correct to the best of my knowledge, information and belief.

Contractor Company Name

Signature

Address

Print Name and Title

Sworn and subscribed before me this ____ day of _____, in the year _____.

Notary Public

PART E: MBE/WBE PARTICIPATION WAIVER REQUEST FORM

Name of Bidder (Proposer) _____

Address _____

Contracting Agency: Department of Recreation & Parks

Contract (Project) Number and Title: RP17802 Dypski Park Improvements

Bid Due Date: Wednesday, July 22, 2020

Goals on this contract.....MBE: 21 % and WBE: 8 %

If MBE Sub-Goals Apply:

African American: 14 % Asian American: N/A %

Hispanic American: 6 % Native American: N/A %

I have achieved.....MBE: _____ % and WBE: _____ %

If MBE Sub-Goals Apply:

African American: _____ % Asian American: _____ %

Hispanic American: _____ % Native American: _____ %

I am requesting a waiver of.....MBE: _____ % and WBE: _____ %

If MBE Sub-Goals Apply:

African American: _____ % Asian American: _____ %

Hispanic American: _____ % Native American: _____ %

I have contacted MWBOO for assistance: _____ Yes _____ No (Check One)

Number of MBE firms contacted: _____ (Attach a list of names.)

Number of WBE firms contacted: _____ (Attach a list of names.)

Explain why waiver is being requested:

Attach documentation of your good faith efforts to secure, contact and negotiate with MBEs and WBEs, including:

- (1) The reasons your company is unable to secure sufficient MBE/WBE participation to meet the stated goals
- (2) The efforts made by your company to select portions of the contract to be performed by MBEs and WBEs
- (3) For each MBE or WBE that placed a bid that you consider to be unacceptable, a statement that explains the basis for that conclusion

Signature of Authorized Company Representative

Date

D. MAYOR AND CITY COUNCIL OF BALTIMORE, MARYLAND

THE BALTIMORE APPRENTICE TRAINEE PROGRAM (BATP)

BID FORM

Contracting Agency DEPARTMENT OF RECREATION AND PARKS

Contract (Project Title) **RP17802 Dypski Park Improvements**

Scheduled Bid Due Date: **Wednesday, July 22, 2020**

THIS APPRENTICE TRAINEE FORM IS DUE WITH THE BID.

FOR MORE INFORMATION ABOUT THIS FORM OR ASSISTANCE, CONTACT:

Minority and Women's Business Opportunity Office (MWBOO)
100 N. Holliday Street, Rm. 101
Baltimore, MD 21202
(410) 396-4355
Tamara Brown, Chief

MWBOO (12/00)

Employ Baltimore
CERTIFICATION STATEMENT

Contracting City Agency	Bid Number	Bid Due Date
Department of Recreation and Parks	RP17802	July 22, 2020

To promote the commitment to utilize ***Employ Baltimore*** to meet employment needs, all businesses awarded contracts, franchises and development opportunities with the City of Baltimore, shall comply with the terms of the Executive Order as described in the bid specification. Under this agreement, contract awardees will complete and submit this certification statement with the bid package.

This Executive Order shall apply to contracts awarded by the City that are in the amounts of \$50,000.01 to \$300,000.00, except for professional service contracts and emergency contracts.

Additionally, companies awarded construction contracts that fully participate in the ***Employ Baltimore*** program and submit and comply with the certification statement, may receive an early release of or reduction in the retainage fee assigned to the contract.

CERTIFICATION STATEMENT

As a representative of _____, I _____
 (NAME OF COMPANY) (PRINT NAME and TITLE)

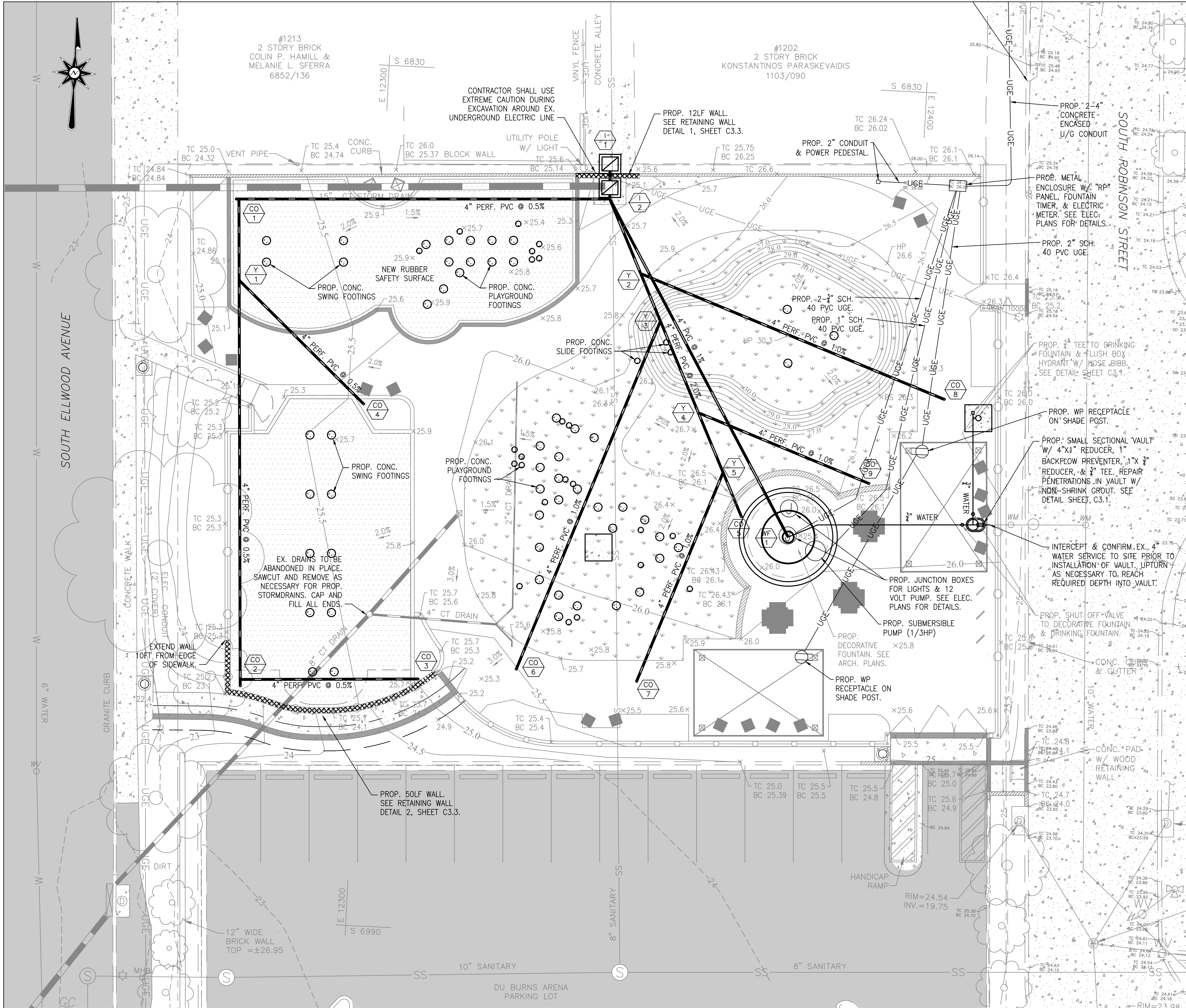
Certify that a company representative will schedule a meeting with the Mayor's Office of Employment Development within two weeks of contract award to review the workforce plan required for this contract.

If there is a need for additional employees, I agree to post the new job openings with MOED's One Stop Career Center Network for seven (7) days prior to publicly advertising these openings. I agree to interview qualified Baltimore City residents referred from MOED. I agree to submit an Employment Report on June 30th and December 31st identifying the total number of workers on this project and total number of Baltimore City residents on payroll during each year of the contract and at the contract completion as a condition of release of the final payment or any retainage due.

Name: _____ Telephone: _____

Company Address _____ Email: _____

Yvette Clark or Patricia Anderson
Mayor's Office of Employment Development
36 S. Charles Street
Baltimore, Maryland 21201
Phone 443-984-3014 • Fax 443-220-0510
employbaltimore@oedworks.com



PROPOSED UTILITY PLAN

SCALE: 1"=10'

LEGEND

FIRE HYDRANT	PROPERTY CORNER
LIGHT POLE	DRAIN INLET
GAS VALVE	CONC. CURB
GAS CAP	SIGN
WATER VALVE	UTILITY POLE
WATER METER	OVERHEAD TRAFFIC WIRES
SEWER CLEANOUT	UNDERGROUND GAS MAINS
ELECTRIC HANDBOX	UNDERGROUND WATER MAINS
MECHANICAL HANDBOX	UNDERGROUND SEWER LINES
GAS HANDBOX	UNDERGROUND STORM DRAINS
STORM DRAIN MANHOLE	UNDERGROUND TELEPHONE
SEWER MANHOLE	UNDERGROUND ELECTRIC
ELECTRIC MANHOLE	FENCE
WATER MANHOLE	TREE
TELEPHONE MANHOLE	PINE TREE
DEPARTMENT OF PUBLIC WORKS	CONC.
DEPARTMENT OF TRANSPORTATION	H/C
UTILITY STRUCTURE NUMBER	T/P
	CONCRETE
	HANDICAP
	TREE PIT

PIPE SCHEDULE				
FROM	TO	SIZE	TYPE	LENGTH
I-1	I-2	6"	SCH. 40 PVC	4.42'
I-2	TEE	4"	SCH. 40 PERF. PVC	2.10'
TEE	CO-1	4"	SCH. 40 PERF. PVC	68.92'
CO-1	Y-1	4"	SCH. 40 PERF. PVC	15.57'
Y-1	CO-2	4"	SCH. 40 PERF. PVC	73.69'
CO-2	CO-3	4"	SCH. 40 PERF. PVC	33.04'
Y-1	CO-4	4"	SCH. 40 PERF. PVC	32.60'
TEE	Y-2	4"	SCH. 40 PERF. PVC	14.99'
Y-2	Y-3	4"	SCH. 40 PERF. PVC	9.56'
Y-3	Y-4	4"	SCH. 40 PERF. PVC	18.44'
Y-4	Y-5	4"	SCH. 40 PERF. PVC	12.00'
Y-5	CO-5	4"	SCH. 40 PERF. PVC	8.87'
Y-3	CO-6	4"	SCH. 40 PERF. PVC	70.00'
Y-5	CO-7	4"	SCH. 40 PERF. PVC	42.00'
Y-2	CO-8	4"	SCH. 40 PERF. PVC	61.05'
Y-4	CO-9	4"	SCH. 40 PERF. PVC	34.28'
I-2	WF-1	4"	SCH. 40 PVC	70.62'

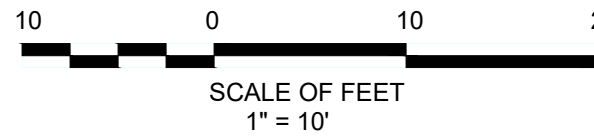
STRUCTURE SCHEDULE				
NO.	TYPE	INV. ELEV.	TOP ELEV.	STANDARD DETAIL; GRATE TYPE
I-1	YARD INLET	OUT=22.05 (6")	23.55	BC 380.01 TYPE "S" INLET SINGLE GRATE
I-2	YARD INLET	IN=22.64 (4") IN=21.31 (4") IN=22.00 (6") OUT=19.70 (15")	25.00	BC 380.01 TYPE "S" INLET SINGLE GRATE
CO-1	CLEANOUT	IN/OUT=22.99 (4")	25.15	STANDARD CLEANOUT
CO-2	CLEANOUT	IN/OUT=23.43 (4")	25.25	STANDARD CLEANOUT
CO-3	CLEANOUT	IN/OUT=23.60 (4")	25.60	STANDARD CLEANOUT
CO-4	CLEANOUT	IN/OUT=23.23 (4")	25.40	STANDARD CLEANOUT
CO-5	CLEANOUT	IN/OUT=23.92 (4")	26.05	STANDARD CLEANOUT W/ CONCRETE COVER
CO-6	CLEANOUT	IN/OUT=23.84 (4")	25.50	STANDARD CLEANOUT W/ CONCRETE COVER
CO-7	CLEANOUT	IN/OUT=24.16 (4")	25.65	STANDARD CLEANOUT W/ CONCRETE COVER
CO-8	CLEANOUT	IN/OUT=23.56 (4")	26.14	STANDARD CLEANOUT W/ CONCRETE COVER
CO-9	CLEANOUT	IN/OUT=23.85 (4")	26.50	STANDARD CLEANOUT
WF-1	WATER FOUNTAIN	OUT=22.00 (4")	25.40	CUSTOM SMARTPOINT NO. 4 POST ACTIVATOR

GENERAL NOTES:

- EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. NO GUARANTEE IS MADE OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS THEREOF. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE DEPTH, SIZE, MATERIAL, AND LOCATION OF ALL UNDERGROUND UTILITIES TO THEIR OWN SATISFACTION BEFORE BEGINNING ANY EXCAVATION OR UTILITY INSTALLATION. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION.
- LIVE UNDERGROUND UTILITIES MAY EXIST WITHIN THE WORK AREA. CONTRACTOR SHALL USE EXTREME CAUTION AND SHALL COMPLY WITH APPLICABLE BALTIMORE CITY, LOCAL, STATE, AND FEDERAL REGULATIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH, AND CONFORM TO THE CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR MATERIALS, HIGHWAYS, BRIDGES, UTILITIES AND INCIDENTAL STRUCTURES, 2006.

KEY PLAN:

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Revisions:		
No.	Date	Description

DYPSKI PARK RENOVATION

BALTIMORE CITY DEPT. OF RECREATION & PARKS: RP 178

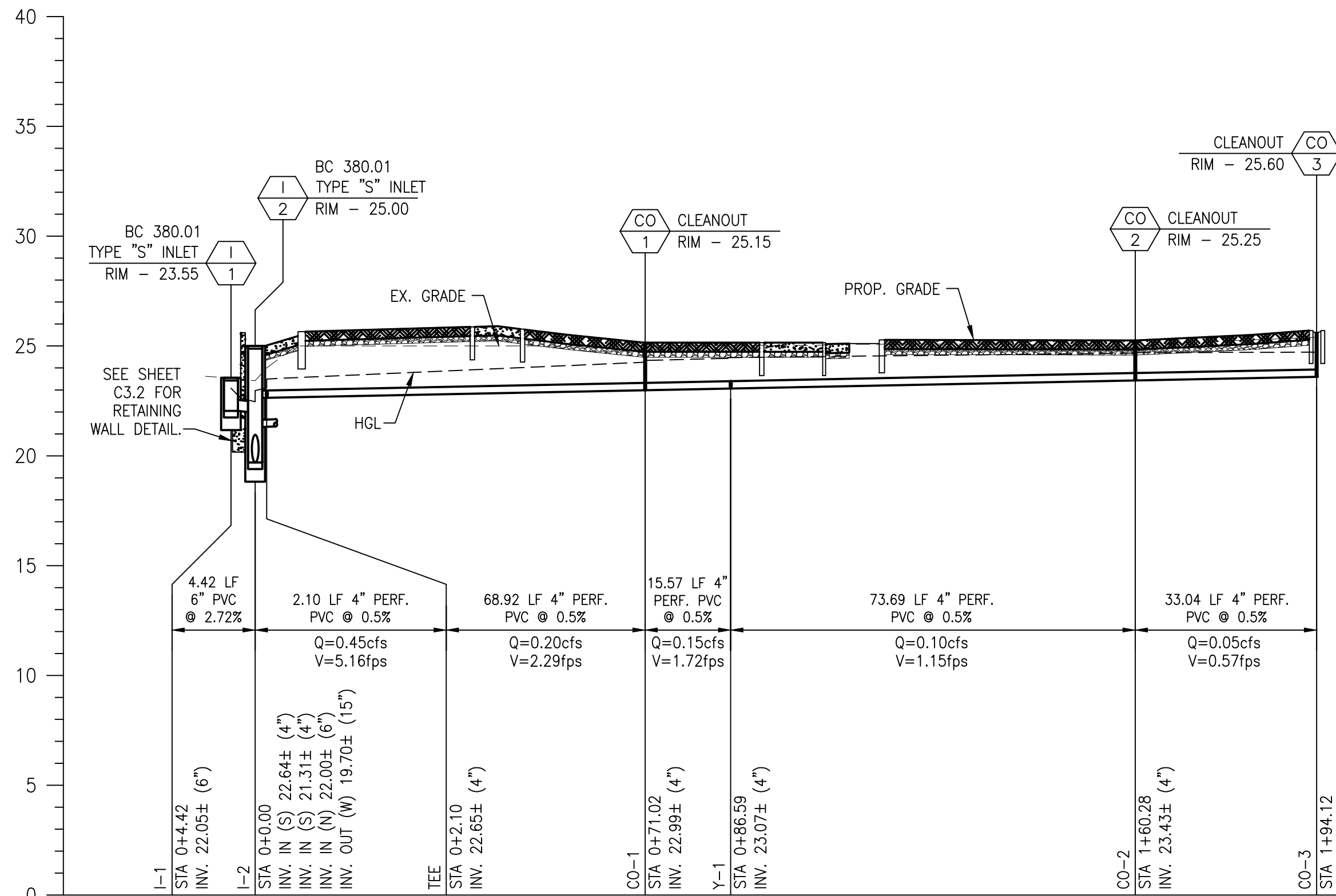
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Scale	AS SHOWN	CMS	Checked
Date	6/05/2020	JAC	Approved

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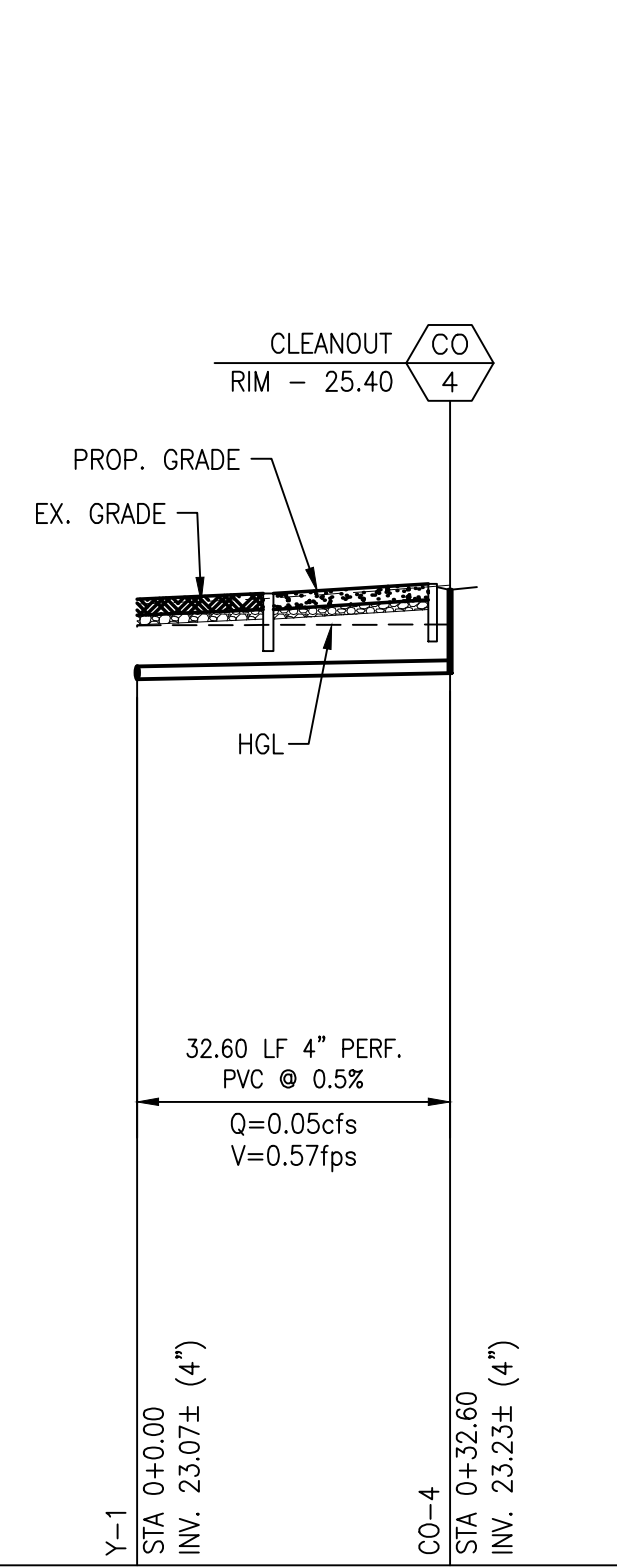
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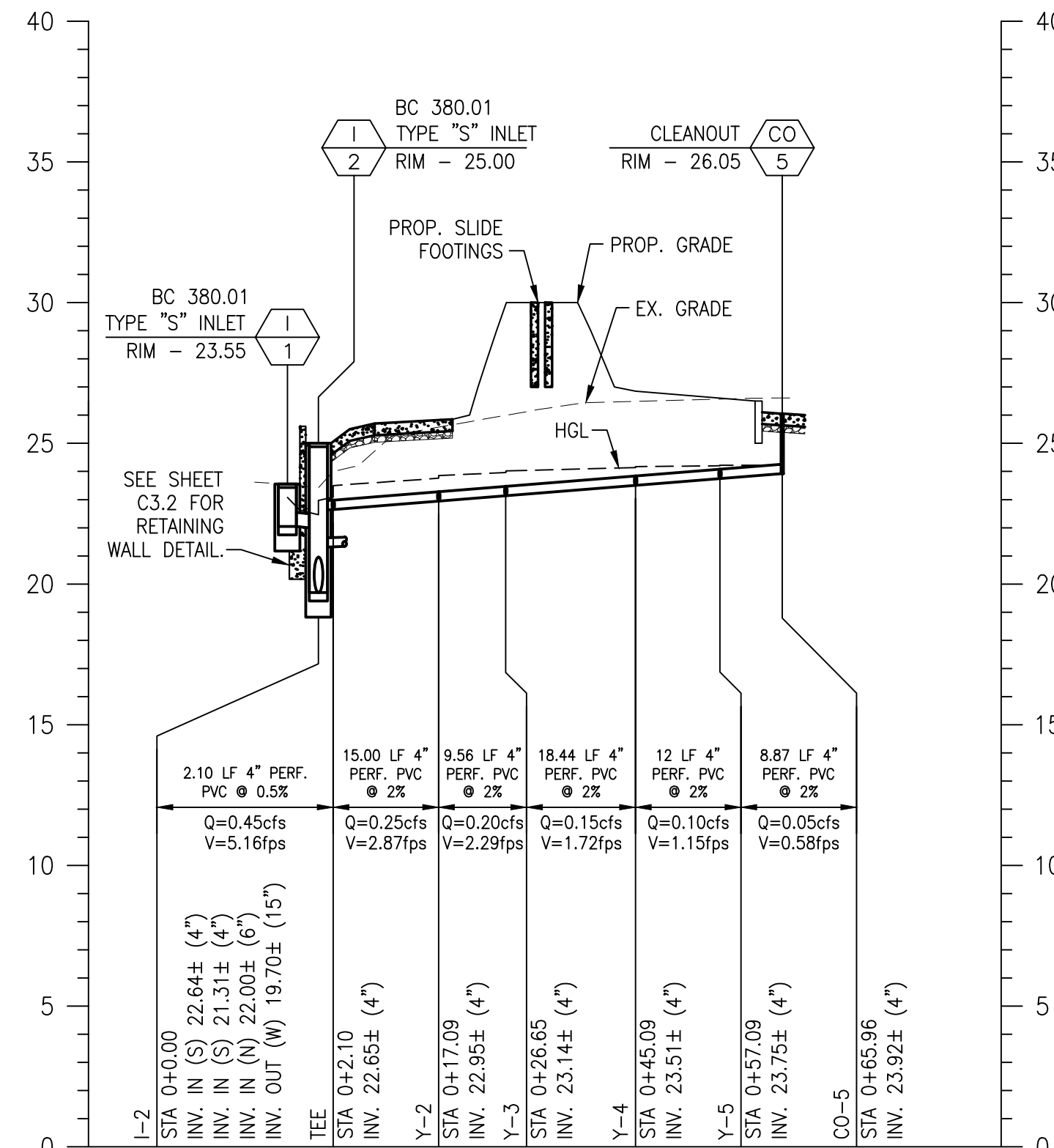
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VERT. 1"=5'



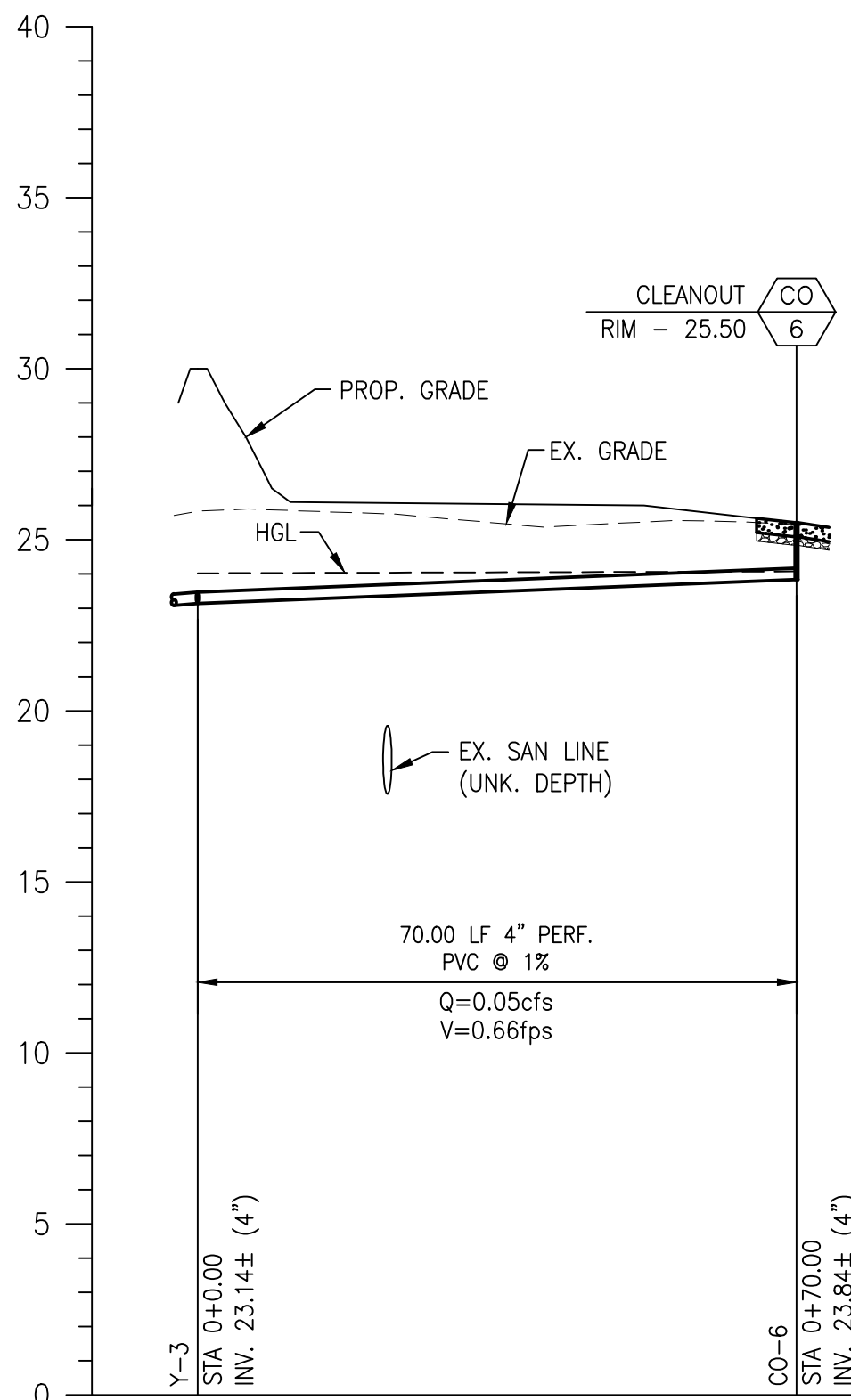
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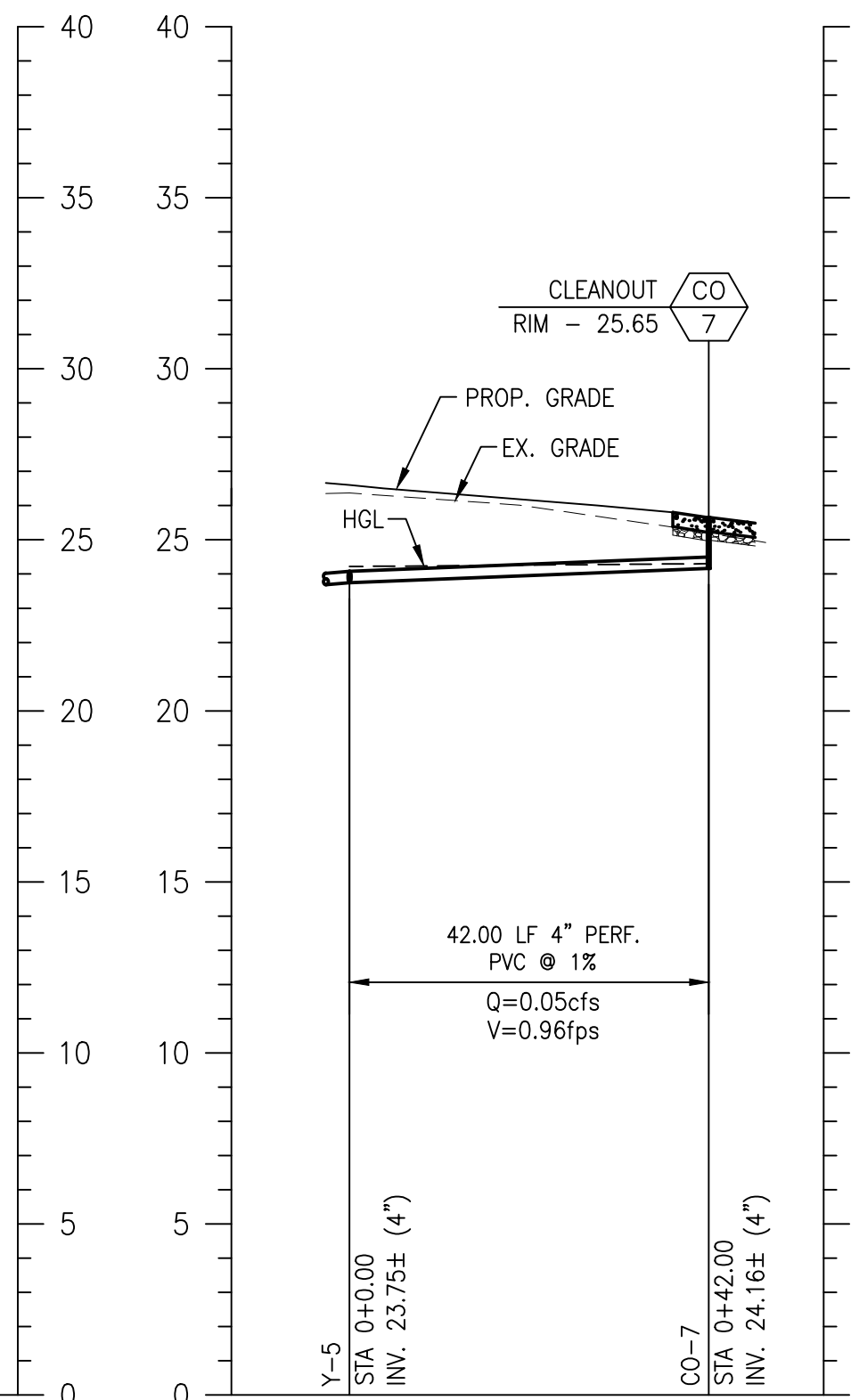
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STORMDRAIN PROFILE

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VERT. 1"=5'



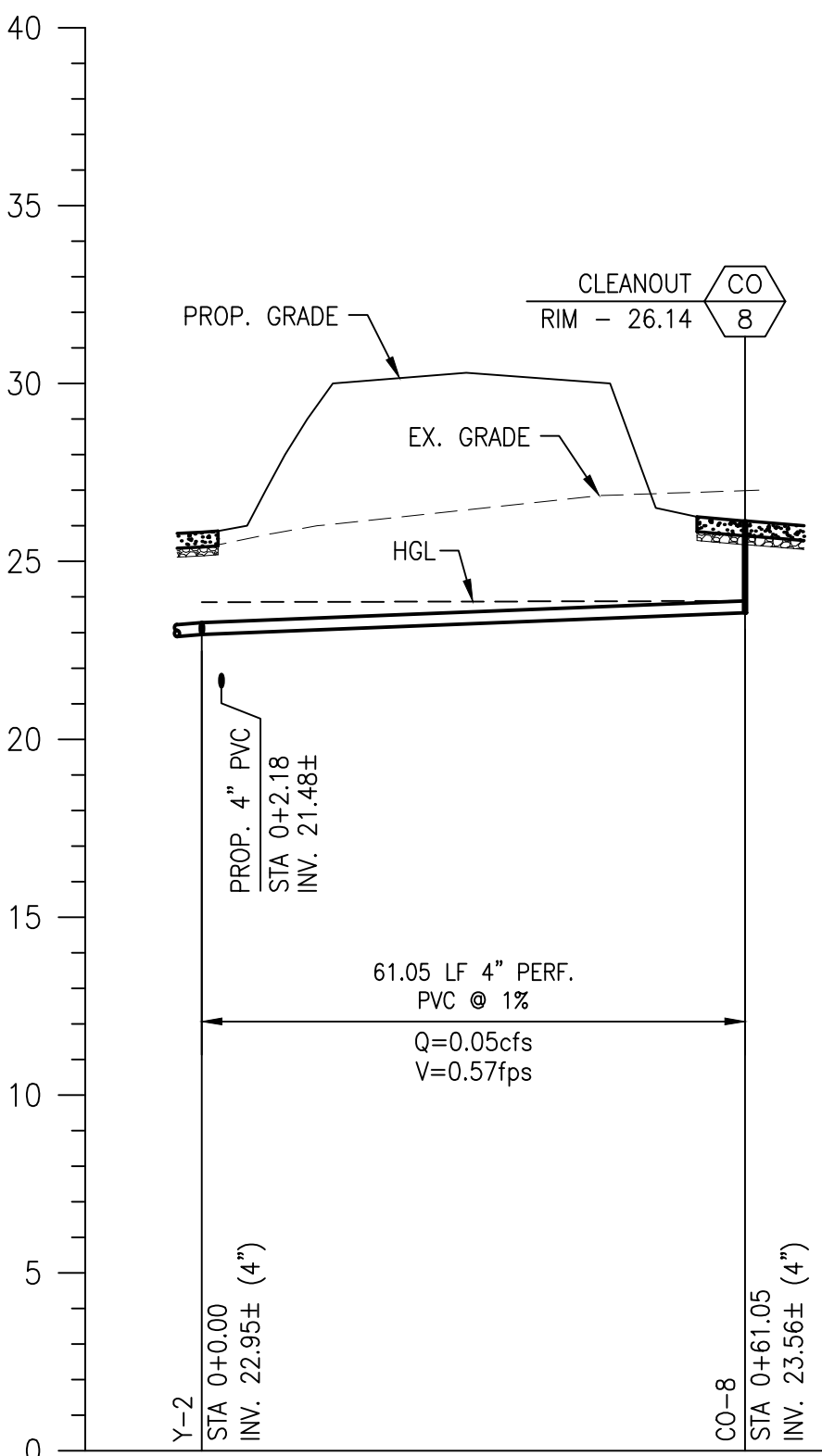
PROPOSED WYE TO CO-6
STORMDRAIN PROFILE

HORIZ. 1"=20'
VERT. 1"=5'



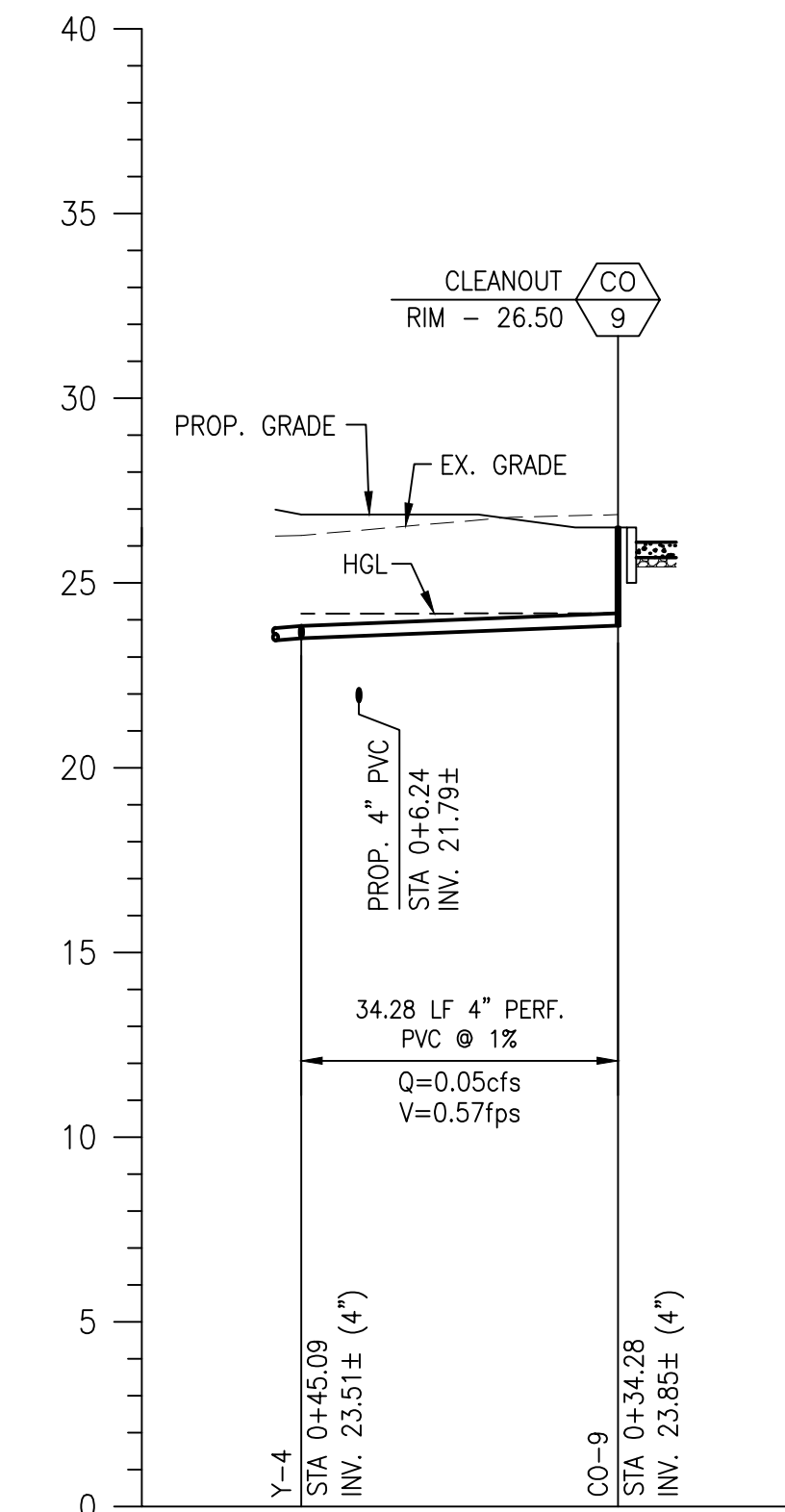
PROPOSED WYE TO CO-7
STORMDRAIN PROFILE

HORIZ. 1"=20'
VERT. 1"=5'



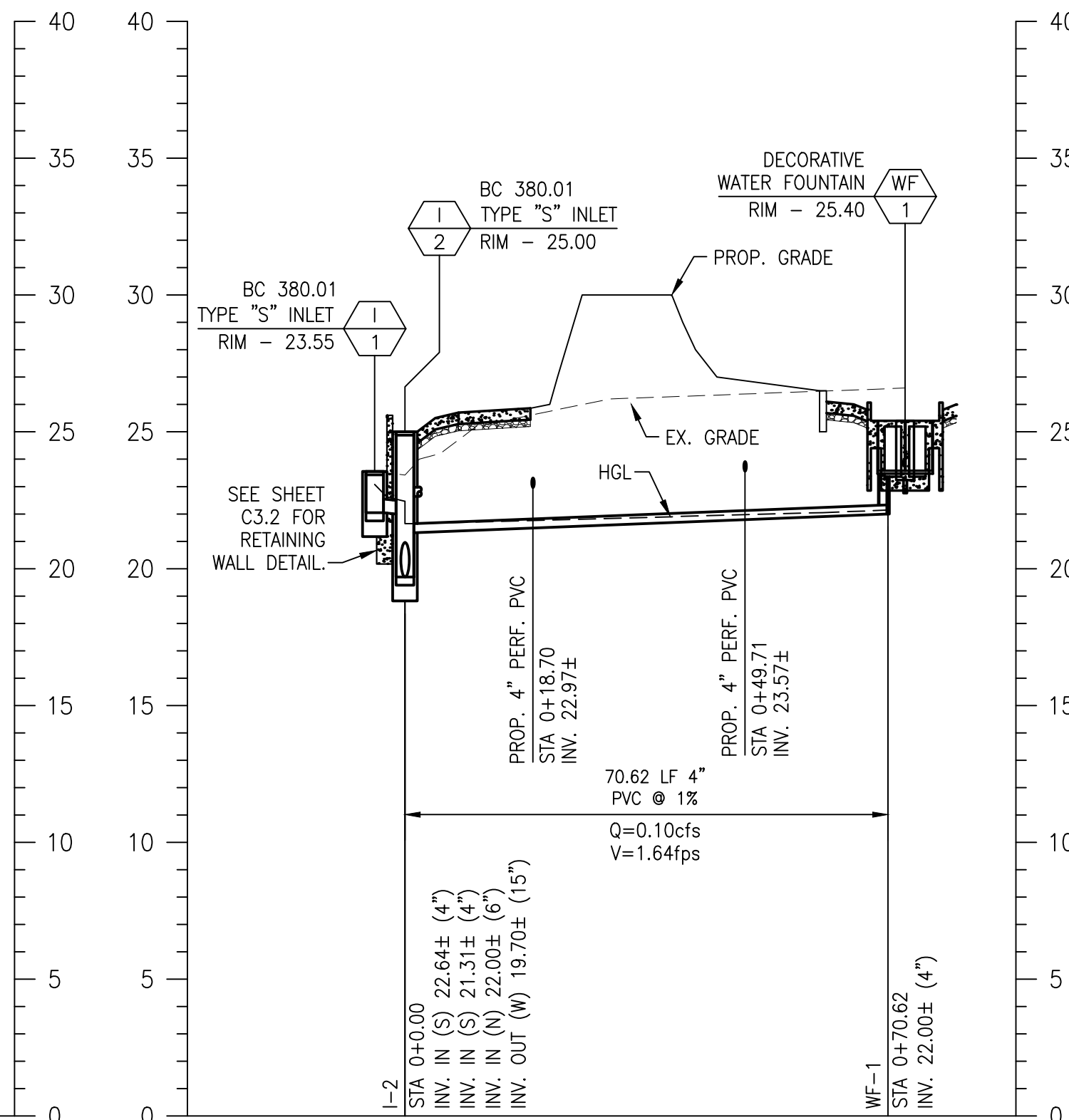
PROPOSED WYE TO CO-8
STORMDRAIN PROFILE

HORIZ. 1"=20'
VERT. 1"=5'



PROPOSED WYE TO CO-9
STORMDRAIN PROFILE

HORIZ. 1"=20'
VERT. 1"=5'

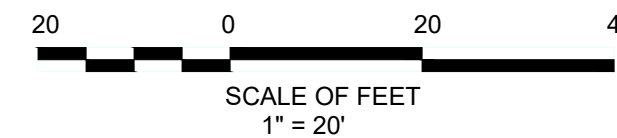


PROPOSED I-2 TO FOUNTAIN
STORMDRAIN PROFILE

HORIZ. 1"=20'
VERT. 1"=5'

KEY PLAN:

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Revisions:

No.	Date	Description
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DYPSKI PARK RENOVATION

BALTIMORE CITY DEPT. OF RECREATION & PARKS: RP 178

Job No.	17802	FHP	Drawn
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Scale	AS SHOWN	CMS	Checked
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Date	6/05/2020	JAC	Approved
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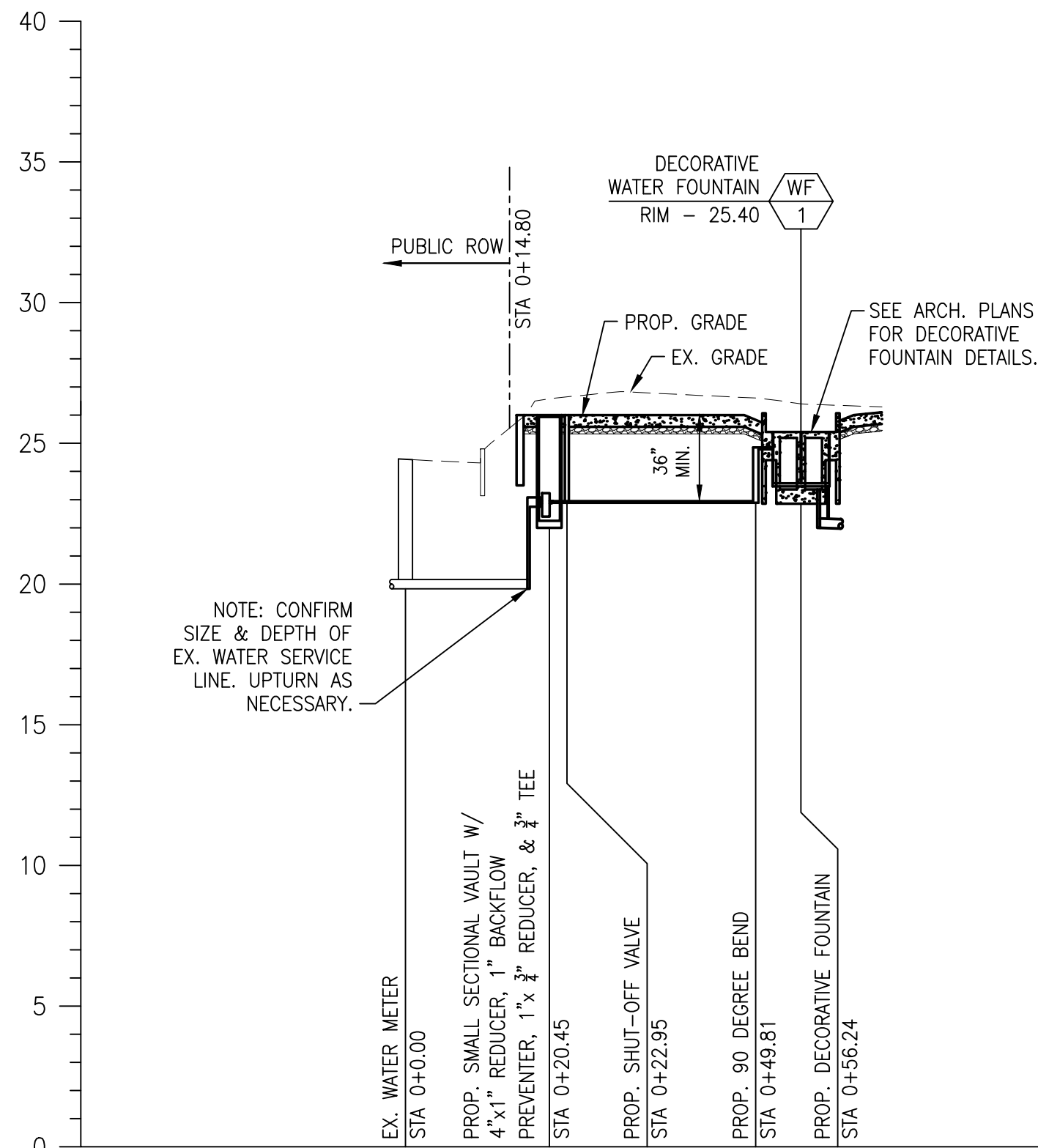
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SHEET 14 of 50
ADDENDUM NO. 1 - PG. 17 of 22

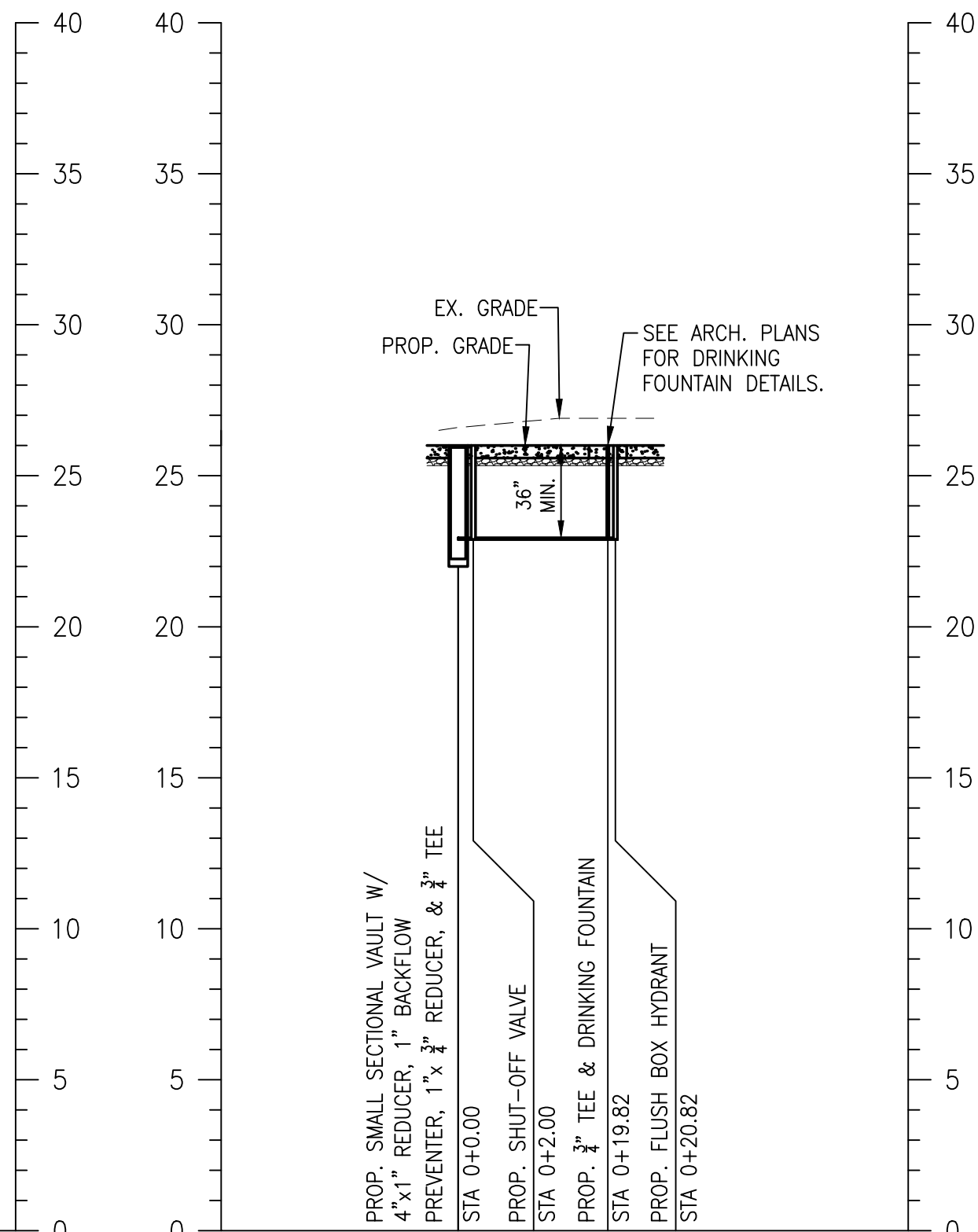
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PROPOSED 4"-3/4" WATER LINE TO
DECORATIVE FOUNTAIN PROFILE

HORIZ. 1"=20'
VERT. 1"=5'

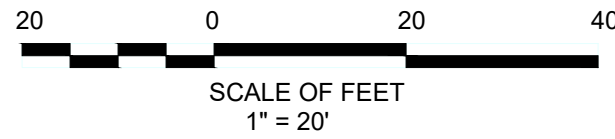


PROPOSED 3/4" WATER LINE
TO DRINKING FOUNTAIN PROFILE

HORIZ. 1"=20'
VERT. 1"=5'

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Revisions:

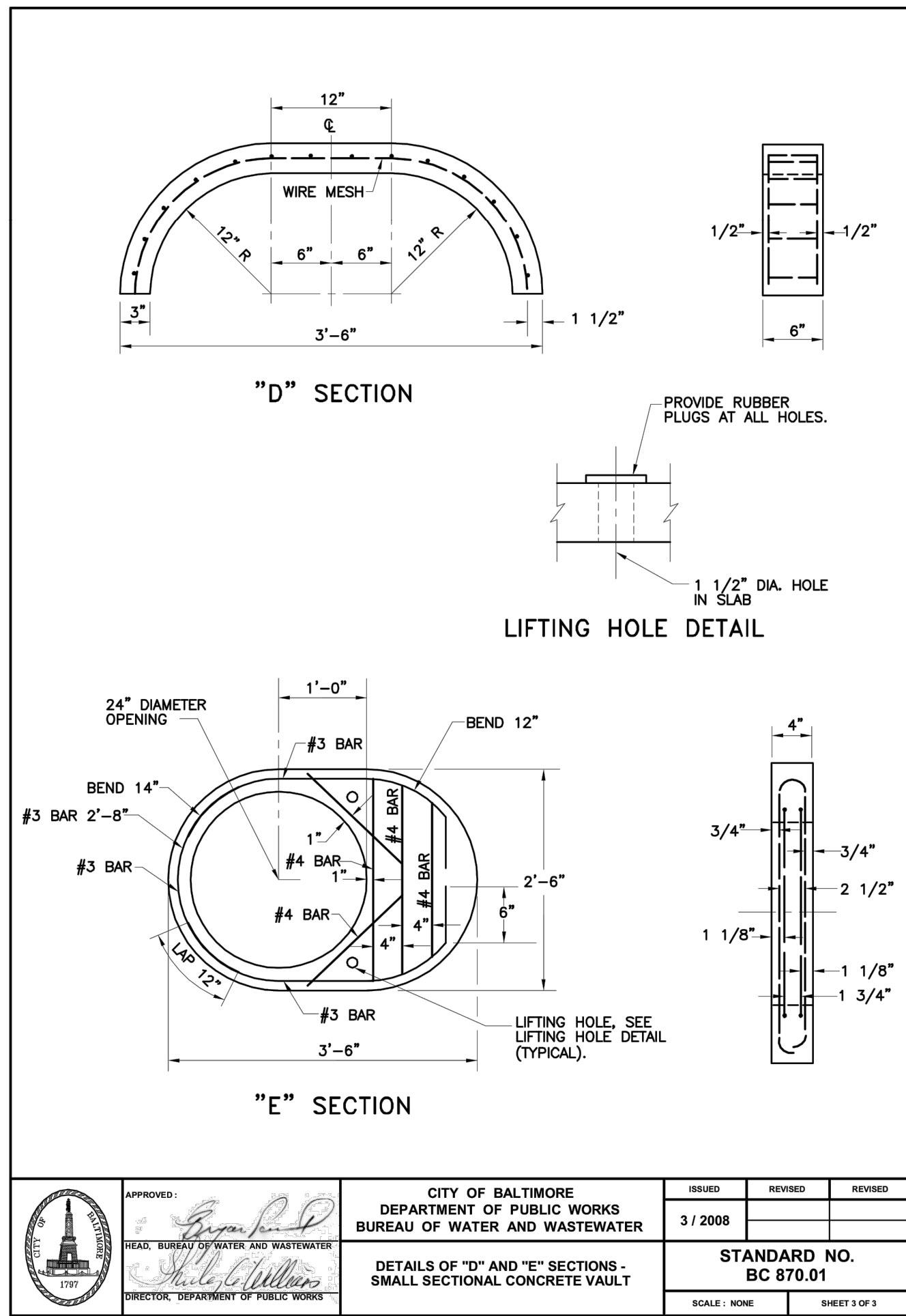
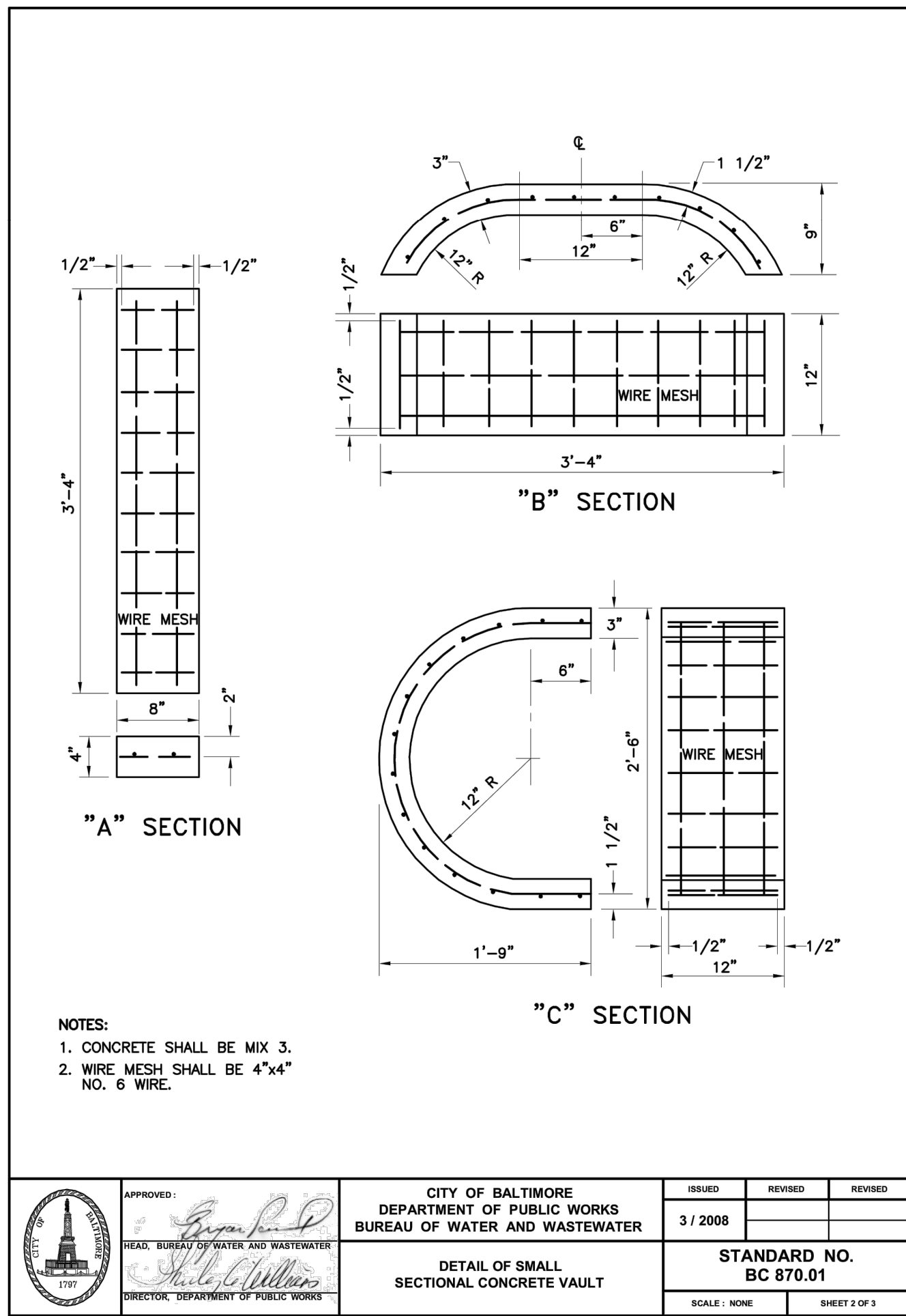
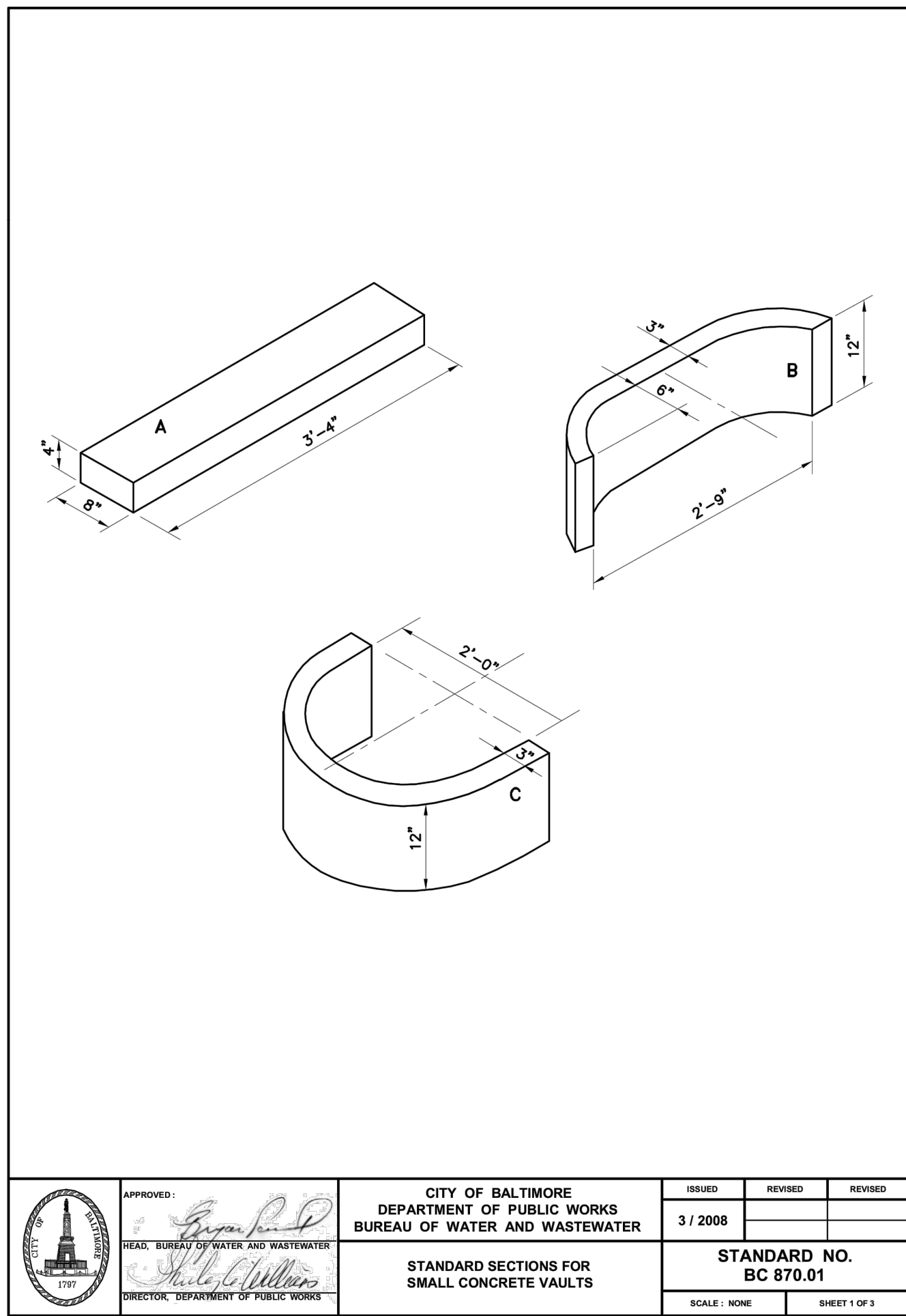
No.	Date	Description
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DYPSKI PARK RENOVATION		
BALTIMORE CITY DEPT. OF RECREATION & PARKS: RP 178		
Job No.	17802	FHP
Scale	AS SHOWN	CMS
Date	6/05/2020	JAC
Drawing Title	Drawing Number	

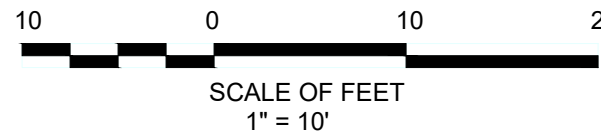
PROPOSED WATER PROFILES	C2.2
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Sheet Of



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Revisions:
No. Date Description

DYPSKI PARK RENOVATION

BALTIMORE CITY DEPT. OF RECREATION & PARKS: RP 178

Job No. 17802 FHP Drawn
Scale AS SHOWN CMS Checked

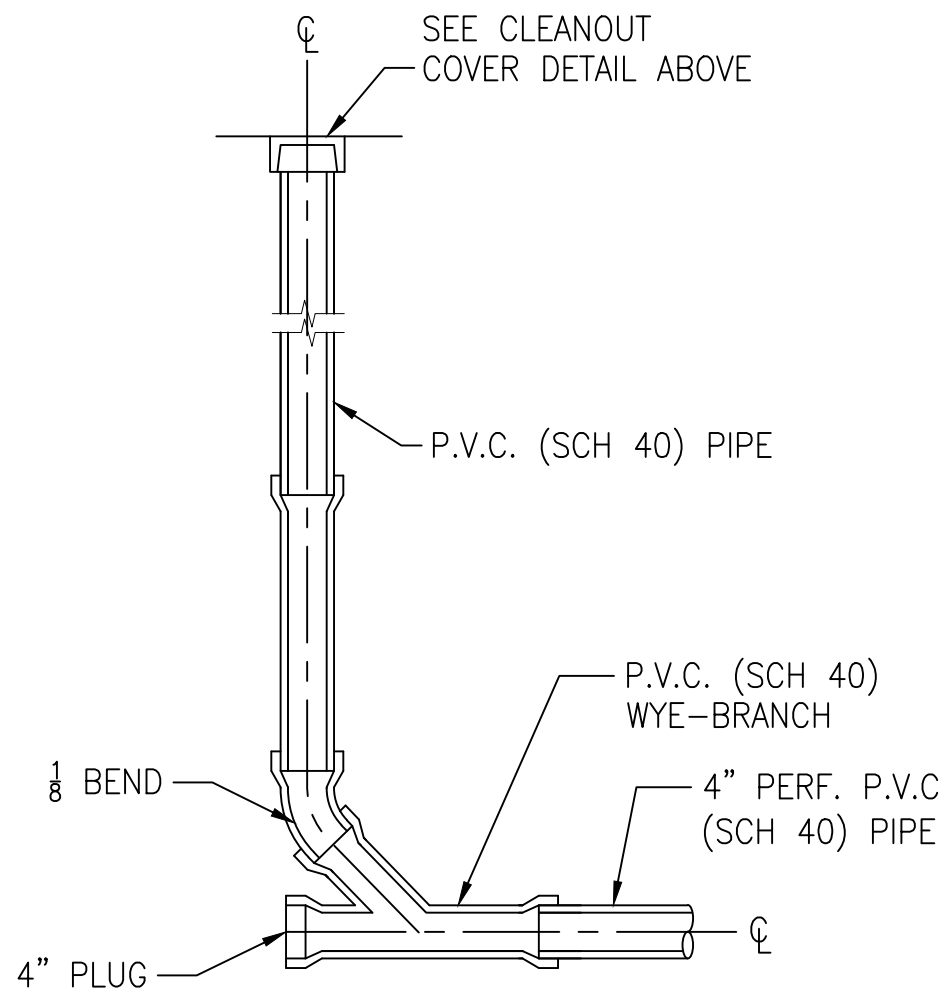
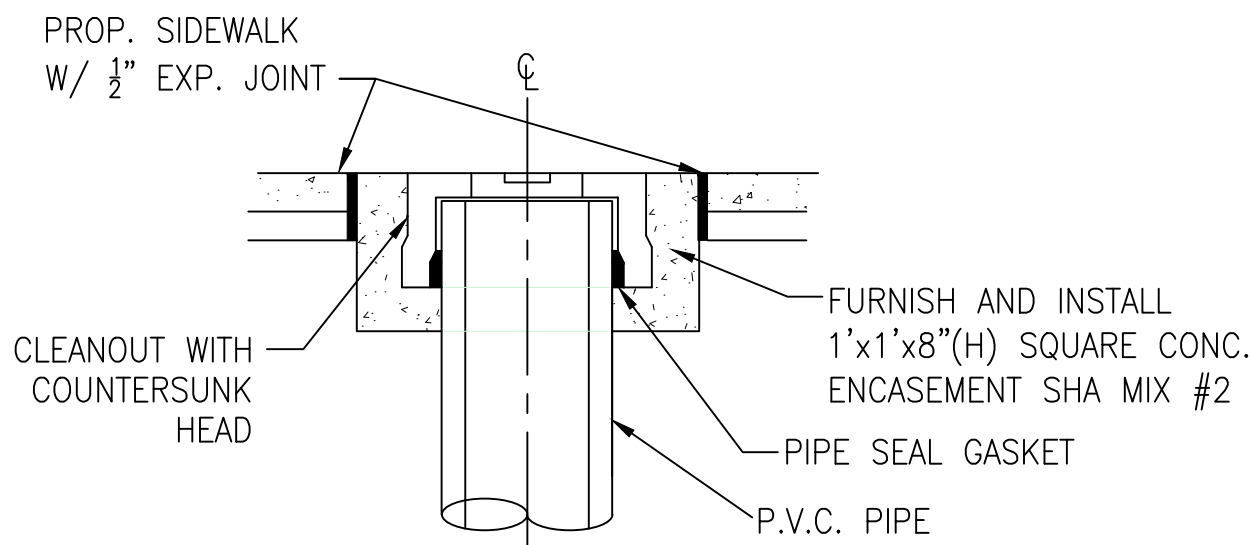
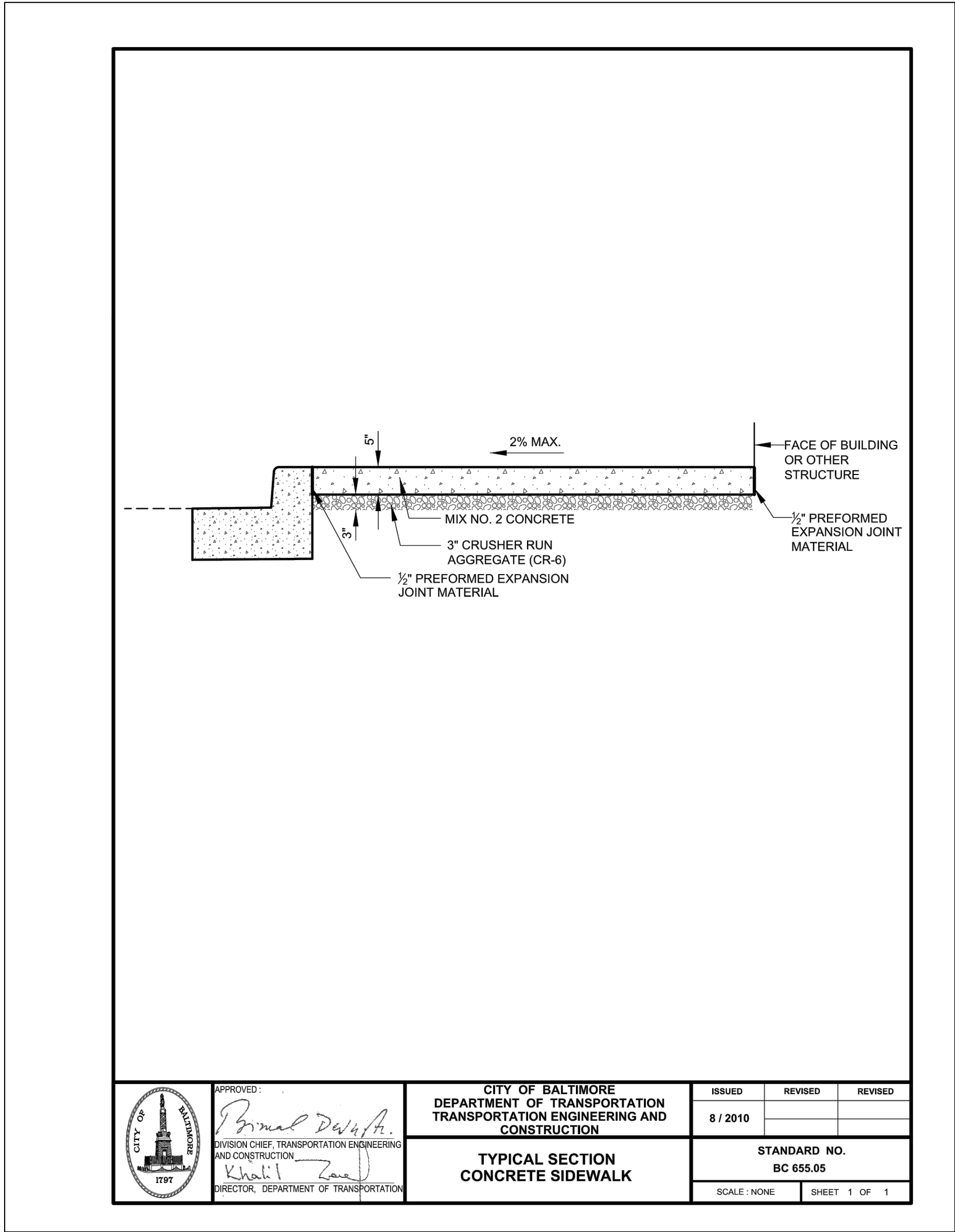
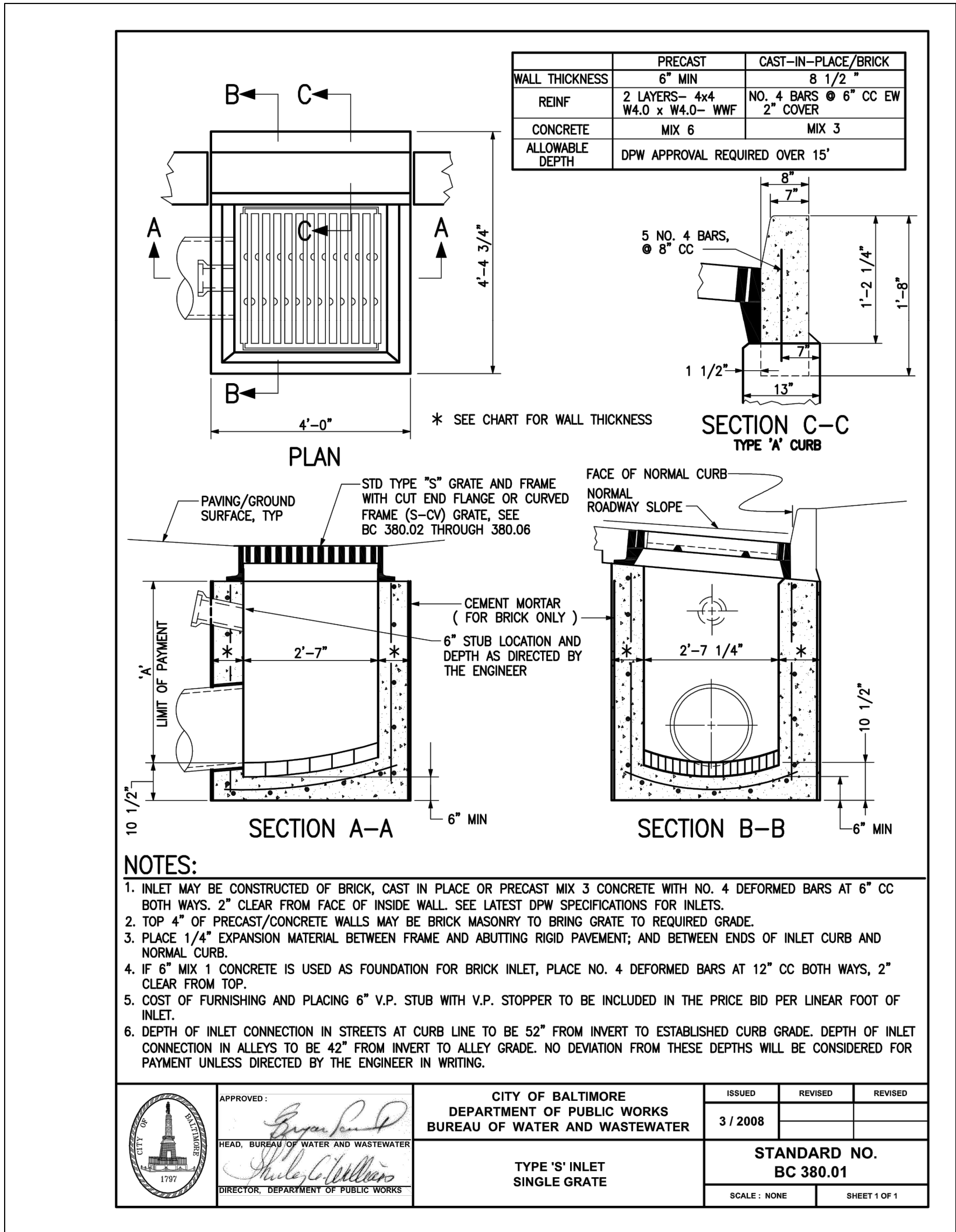
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CIVIL DETAILS 1

C3.1

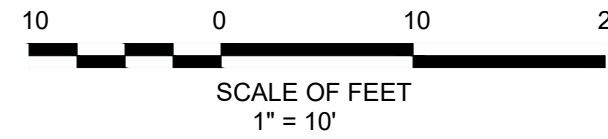
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Revisions:

No.	Date	Description
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DYPSKI PARK RENOVATION

BALTIMORE CITY DEPT. OF RECREATION & PARKS: RP 178

Job No.	17802	FHP	Drawn
Scale	AS SHOWN	CMS	Checked
Date	6/05/2020	JAC	Approved
Drawing Title	Drawing Number		

CIVIL DETAILS 2	C3.2
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Sheet Of

1. DEAD, LIVE, SNOW, WIND, AND SEISMIC DESIGN LOADS ARE IN ACCORDANCE WITH THE BALTIMORE CITY BUILDING CODE WHICH INCORPORATES THE INTERNATIONAL BUILDING CODE - IBC 2015.
2. LATERAL EARTH PRESSURES ON RETAINING WALLS ARE BASED ON THE FOLLOWING:

EQUIVALENT AT-REST FLUID PRESSURE	60 PCF
EQUIVALENT ACTIVE FLUID PRESSURE	40 PCF
EQUIVALENT PASSIVE FLUID PRESSURE	360 PCF
LATERAL AT-REST EARTH PRESSURE COEFFICIENT, K_0	0.50
LATERAL ACTIVE EARTH PRESSURE COEFFICIENT, K_a	0.33
LATERAL PASSIVE EARTH PRESSURE COEFFICIENT, K_p	3.00
COEFFICIENT OF SLIDING FRICTION (CONC./SOIL)	0.35

1. BEFORE SUBMISSION OF SHOP DRAWINGS, THE CONTRACTOR SHALL HAVE DETERMINED AND VERIFIED ALL QUANTITIES, DIMENSIONS, SPECIFIED PERFORMANCE CRITERIA, INSTALLATION REQUIREMENTS, MATERIALS, CATALOG NUMBERS AND SIMILAR DATA SHALL HAVE COORDINATED EACH SHOP DRAWING WITH OTHER SHOP DRAWINGS AND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
2. PRIOR TO SUBMISSIONS, THE CONTRACTOR SHALL STAMP OR PROVIDE A SIMILAR WRITTEN INDICATION THAT THE CONTRACTOR HAS REVIEWED THE SUBMISSION AND IS SATISFIED THE CONTENTS ARE IN COMPLIANCE WITH THE CONTRACT DOCUMENTS.
3. REPRINTS OF THE CONTRACT DOCUMENTS WILL NOT BE ACCEPTED.
4. NO DIMENSIONAL INFORMATION MAY BE OBTAINED BY DIRECT SCALING OF THE DRAWINGS.
5. ADEQUATE SETS SHALL BE SUBMITTED SO THAT THE ENGINEER CAN MAINTAIN ONE RECORD SET AT ALL TIMES.

1. ALL SPREAD FOOTINGS AND MAT FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL OR CONTROLLED STRUCTURAL FILL, HAVING A MINIMUM SAFE BEARING CAPACITY OF 2,000 PSF. ALL SPREAD FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO SOIL HAVING SUCH MINIMUM BEARING VALUE.
2. RETAIN THE SERVICES OF A REGISTERED GEOTECHNICAL ENGINEER, APPROVED AND PAID FOR BY THE OWNER, TO VERIFY SOIL BEARING CAPACITY AT EACH FOOTING PRIOR TO INSTALLATION. NOTIFY ENGINEER OF ANY VARIATION FROM ANTICIPATED BEARING CAPACITY FOR APPROPRIATE REDESIGN OR LOWERING OF FOOTINGS.
3. EXCAVATION, PROTECTION OF SUBGRADE, AND FOOTING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
4. ANY UNDERCUTS BENEATH THE FOOTINGS SHOULD BE REPLACED WITH CLEAN GRAVEL. ALL OTHER STRUCTURAL FILL SHOULD BE COMPACTED IN 12 INCH LIFTS TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD, ASTM D-698. THE COMPACTION OF EACH LIFT SHOULD BE CONFIRMED BEFORE PLACING SUBSEQUENT LIFTS. ALL FILL AND BACKFILL OPERATIONS SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL ENGINEER.
5. ALL ORGANIC MATERIALS, UNSUITABLE FILL, AND CONSTRUCTION DEBRIS SHALL BE REMOVED IN REGIONS OF ALL FOUNDATIONS.
6. THE BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE 2'-6" MINIMUM BELOW FINISHED GRADE.
7. EDGES OF FOOTINGS SHALL NOT BE PLACED AT A GREATER THAN 1 (VERTICAL) TO 2 (HORIZONTAL) SLOPE WITH RESPECT TO ANY ADJACENT FOOTING OR EXCAVATION.
8. THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS, AND ALL EXCAVATIONS SHALL BE KEPT FREE OF WATER. DURING CONSTRUCTION THE BASEMENT SHOULD BE EXCAVATED WITH EQUIPMENT THAT WILL MINIMIZE DISTURBANCE TO THE SUBGRADE SOIL. SINCE THE BASEMENT AND FOOTINGS MAY BE CLOSE TO GROUNDWATER A CONCRETE MUD MAT SHOULD BE POURED AS SOON AS THE SUBGRADE IS EXPOSED.
9. NO HORIZONTAL JOINTS SHALL BE PLACED IN WALLS EXCEPT AS SHOWN ON THE DRAWINGS WITHOUT APPROVAL OF THE ENGINEER.
10. THE CONTRACTOR SHALL REFER TO THE CIVIL, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ALL LOCATIONS OF TRENCHES, PITS, CONDUITS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS.
11. BACKFILLING AGAINST BASEMENT WALLS SHALL NOT BE DONE UNTIL CONCRETE HAS BEEN CURED TO ATTAIN SUFFICIENT STRENGTH (7 DAYS MINIMUM) AND WALLS ARE PROPERLY SHORED AND/OR BRACED. BACKFILLING AGAINST BASEMENT WALLS SHALL NOT BE DONE UNTIL THE FLOOR SLABS AT TOP AND BOTTOM OF WALLS HAVE BEEN PLACED AND HAVE CURED. BACKFILL FOUNDATION WALLS WITH EARTH ON BOTH SIDES OF THE WALL BY ALTERNATELY PLACING BACKFILL ON EACH SIDE SO THAT HEIGHT OF BACKFILL DOES NOT DIFFER MORE THAN 1'-6" FROM OTHER SIDE.
12. ALL ADJACENT COLUMN FOOTINGS THAT ABUT SHALL BE SEPARATED BY A PAPER JOINT.

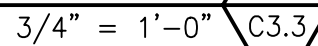
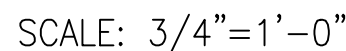
1. ALL CONCRETE SHALL CONFORM TO THE PROVISIONS OF ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, (ACI 318-LATEST EDITION) AND ACI SPECIFICATIONS FOR STRUCTURAL CONCRETE IN BUILDINGS, (ACI 301-LATEST EDITION), EXISTING STRUCTURAL FRAMING SHALL REMAIN UNLESS SPECIFICALLY NOTED ON PLAN TO BE REMOVED.
2. ALL FOUNDATION CONCRETE SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

STRUCTURAL ELEMENT
A. FOOTINGS BALTIMORE CITY MIX #3
B. FOUNDATION WALLS BALTIMORE CITY MIX #6
C. DRILLED PIERS BALTIMORE CITY MIX #6
3. NO CONCRETE SHALL BE PLACED UNTIL CONCRETE DESIGN MIXES HAVE BEEN SUBMITTED FOR EACH CLASS OF CONCRETE ABOVE AND HAVE BEEN REVIEWED BY THE ENGINEER.
4. USE A WATER REDUCING ADMIXTURE IN ALL CONCRETE.
5. SLUMP AND MINIMUM CEMENTITIOUS MATERIALS CONTENT SHALL BE AS REQUIRED BY ACI 301-LATEST EDITION.
6. NO CALCIUM CHLORIDE IN ANY FORM WILL BE PERMITTED IN CONCRETE.
7. ALL STRUCTURAL MEMBERS SHALL BE POURED FOR THEIR FULL DEPTHS IN ONE OPERATION.
8. EXCAVATIONS SHALL BE KEPT FREE OF WATER. NO CONCRETE SHALL BE PLACED IN WATER.
9. ALL SLAB-ON-GRADE SHALL HAVE THICKENINGS, DEPRESSIONS, OPENINGS, ETC. AS SHOWN OR AS REQUIRED BY VARIOUS TRADES.
10. REFER TO SPECIFICATION SECTIONS FOR CONCRETE FINISHES.
11. RETAIN THE SERVICES OF AN INDEPENDENT TESTING AGENCY ACCORDING TO THE REQUIREMENTS OF THE CITY OF BALTIMORE'S CONTRACT BOOKLET RP 14810, SPECIAL CONDITION 16, AND DPW STANDARD SPECIFICATION SECTION 01 45 00. CONTRACTOR SHALL SUBMIT FOR APPROVAL INDEPENDENT TESTING AGENCIES FOR ALL NECESSARY TESTING AND INSPECTIONS FOR THE CONTRACTOR'S QUALITY CONTROL PROGRAM. ALL REQUIRED TESTING TO BE PERFORMED BY THE CONTRACTOR OR CITY APPROVED CONTRACTOR'S TESTING AGENCIES, AND SHALL BE INCIDENTAL TO THE WORK BEING COMPLETED AT NO ADDITIONAL COST TO THE CITY OF BALTIMORE.

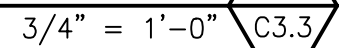
1. ALL DEVELOPMENT AND SPLICES OF REINFORCEMENT SHALL CONFORM TO THE PROVISIONS OF ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, (ACI 318-LATEST EDITION).
2. REINFORCING STEEL SHALL BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO CURRENT REQUIREMENTS OF ASTM A615, GRADE 60 FOR ALL #10 AND SMALLER BARS AND ASTM A615, GRADE 75 FOR ALL #11 AND LARGER BARS, UNO. ALL HOOKS SHALL BE STANDARD HOOKS, UNO.
3. ALL REINFORCEMENT WITHIN THE LOADING DOCK SLAB AND RAMPS, POOL DECK, AND POOL ROOF FRAMING SHALL BE EPOXY COATED.
4. WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A1064.
5. ALL WELDED WIRE FABRIC SHALL BE SPLICED SO THAT THE OVERLAP OF THE OUTERMOST CROSS WIRES OF EACH ADJOINING SHEET IS NOT LESS THAN THE SPACING OF THE CROSS WIRES PLUS TWO INCHES, UNO.
6. REINFORCING BAR SUPPORTS AND SPACERS SHALL CONFORM TO (ACI 315-LATEST EDITION) DETAILING MANUAL. MINIMUM REBAR COVER FOR CONCRETE SHALL BE AS SHOWN IN THE FOLLOWING TABLE, UNO:

EXPOSURE CONDITION	CONCRETE COVER	TOLERANCE (+/-)
A. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"	3/8"
B. EXPOSED TO EARTH OR WEATHER		
#5 AND SMALLER BARS AND WWF	1 1/2"	3/8"
#6 AND LARGER BARS	2"	3/8"
C. NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND		
SLABS, WALLS, & JOISTS	1"	1/4"
BEAMS & COLUMNS (REBAR, TIES, STIRRUPS & SPIRALS)	1 1/2"	3/8"

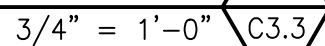
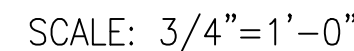
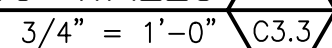
7. ALL OTHER REINFORCEMENT TOLERANCES SHALL CONFORM TO THE PROVISIONS OF ACI STANDARD SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS, (ACI 117-LATEST EDITION).
8. SHEAR STUDS FOR STUD RAILS SHALL BE HEADED STUDS STUD WELDED TO A STEEL BASE RAIL. SHEAR STUDS SHALL BE OF SIZE, SPACING, AND ARRANGEMENT SHOWN ON THE DRAWINGS. SHEAR STUDS SHALL CONFORM TO ASTM A108, GRADE 1015 WITH A MINIMUM YIELD STRENGTH OF 50 KSI. SHEAR STUDS SHALL COMPLY WITH THE AMERICAN WELDING SOCIETY AWS D1.1 STRUCTURAL WELDING CODE.
9. SHOP DRAWINGS SHOWING ALL NECESSARY SECTIONS AND DETAILS FOR THE PROPER POSITIONING OF ALL REINFORCING STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW BEFORE FABRICATION OR PLACEMENT OF THE STEEL.



1. PROVIDE CONTROL JOINTS AT LOCATIONS INDICATED ON ELEVATION.
PROVIDE AT 10'-0" o/c MAXIMUM.
2. DO NOT CUT HORIZONTAL BARS IN SHEAR WALL (WALLS NOTED AS S.W.)
3. UNLESS NOTED OTHERWISE ON ARCHITECTURAL DRAWINGS, PROVIDE 3/4"x3/4" REGLET
IN SURFACES EXPOSED TO VIEW (TYP.)

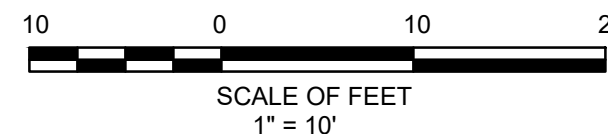


1. PROVIDE EXPANSION JOINTS AT LOCATIONS INDICATED ON ELEVATION
PROVIDE AT 30'-0"o/c MAXIMUM.



3/4" = 1'-0"	C3.3
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KEYNOTES LISTED ON THIS SHEET ARE FOR CONVENIENCE ONLY. REFER TO SHEET CS.2 FOR COMPLETE LIST



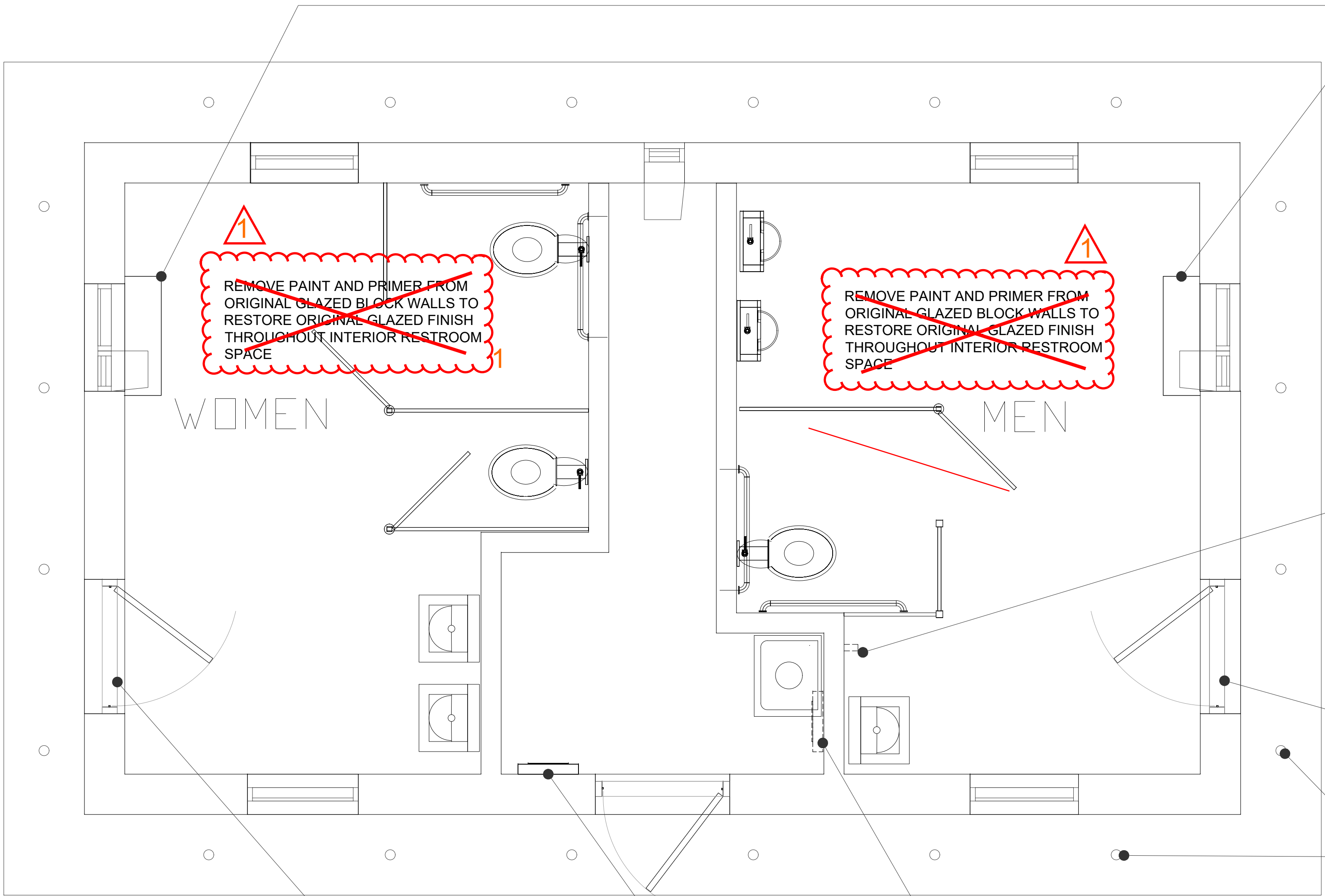
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BALTIMORE CITY DEPT. OF RECREATION &
PARKS: RP 178

Drawing Title	Drawing Number
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C3.3

Sheet	
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1 COMFORT STATION PLAN AT LEAKIN PARK (2000 SLOMAN DRIVE)
A1.4 SCALE: 1/2"=1'-0"

FABRICATE AND INSTALL NEW VANDAL-RESISTANT STEEL ENCLOSURES TO PROTECT EXHAUST LOUVER MECHANISMS. PAINT TO MATCH WINDOW FRAME FINISH. SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER BEFORE PROCEEDING WITH FABRICATION.

REMOVE PORTION OF OLD PIPE PROTRUDING FROM THE FINISHED WALL SURFACE. PATCH AND REFINISH PER ADJACENT FINISHED SURFACE.

PROVIDE AND INSTALL NEW CORES IN BOTH EXISTING LOCKS. COORDINATE WITH ENGINEER AS KEYING MUST MATCH CITY-WIDE COMFORT-STATION KEY ACCESS.

PROVIDE AND INSTALL NEW SOFFIT LIGHTS IN EXISTING OPENINGS. SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATION AND WIRING

REMOVE EXISTING FUSE PANEL. PATCH HOLES AND REFINISH WALL PER ADJACENT FINISHED SURFACE

APPROXIMATE LOCATION OF NEW FUSE PANEL - SEE ELECTRICAL DRAWINGS

PROVIDE AND INSTALL NEW CORES IN BOTH EXISTING LOCKS. COORDINATE WITH ENGINEER AS KEYING MUST MATCH CITY-WIDE COMFORT-STATION KEY ACCESS.

DYPSKI PARK SITE IMPROVEMENTS

1225 S. Ellwood Ave, Baltimore, MD 21223

Block 1898
Lot 19A

6-24-2020 Addendum No. 1

CITY OF BALTIMORE DEPARTMENT OF RECREATION AND PARKS COMFORT STATION IMPROVEMENTS SCALE <u>see drawing scale</u> DATE <u>June 5, 2020</u>	DRAWN BY <u>L. DECKER</u>
	TRACED BY _____
	DESIGNED BY _____
	CHECKED BY _____
	PROJECT NO. RP17802 SHEET NO. A1.4r